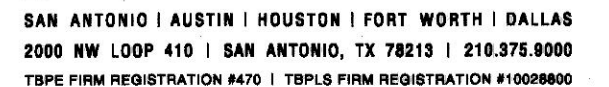


BEING A TOTAL OF 34.471 ACRE TRACT OF LAND, ESTABLISHING LOTS 1-36, 900, AND 901, BLOCK 30, LOTS 1-31, BLOCK 31, LOTS 1-24 BLOCK 32, LOTS 1-16, BLOCK 33, LOTS 1-39, AND 900, BLOCK 42, AND LOTS 1-7, BLOCK 43, AND A 6.392 ACRE RIGHT-OF-WAY, COMPRISED OF 34.414 ACRES OUT OF A 34.49 ACRE TRACT OF LAND RECORDED IN DOCUMENT NUMBER 2022004848, AND 0.057 ACRES OUT OF A 0.280 ACRE TRACT OF LAND RECORDED IN DOCUMENT NUMBER 2021008215, ALL OF THE OFFICIAL PUBLIC RECORDS OF BEXAR COUNTY, TEXAS, OUT OF THE LOUIS GONZABA SURVEY 64, ABSTRACT 253, COUNTY BLOCK 4408, IN BEXAR COUNTY, TEXAS.



STATE OF TEXAS
COUNTY OF BEXAR

THE OWNER OF LAND SHOWN ON THIS PLAT, IN PERSON OR THROUGH A DULY AUTHORIZED AGENT, DEDICATES TO THE USE OF THE PUBLIC, EXCEPT AREAS IDENTIFIED AS PRIVATE OR PART OF AN ENCLAVE OR PLANNED UNIT DEVELOPMENT, FOREVER ALL STREETS, ALLEYS, PARKS, WATERCOURSES, DRAINS, EASEMENTS AND PUBLIC PLACES THEREON SHOWN FOR THE PURPOSE AND CONSIDERATION THEREIN EXPRESSED.

OWNER/DEVELOPER: PAUL POWELL
HDC OLD CULEBRA, LLC
100 NE LOOP 410, STE 1080
SAN ANTONIO, TEXAS 78216
(210) 838-6784

BEFORE ME, THE UNDERSIGNED AUTHORITY ON THIS DAY PERSONALLY APPEARED PAUL POWELL, KNOWN TO ME TO BE THE PERSON WHOSE NAME IS SUBSCRIBED TO THE FOREGOING INSTRUMENT, AND ACKNOWLEDGED TO ME THAT HE EXECUTED THE SAME FOR THE PURPOSES AND CONSIDERATIONS THEREIN EXPRESSED AND IN THE CAPACITY THEREIN STATED. GIVEN UNDER MY HAND AND SEAL OF OFFICE THIS 14th DAY OF April, A.D. 2022

NOTARY PUBLIC, BEXAR COUNTY, TEXAS

THIS PLAT OF WESTPOINTE NORTH UNIT 5B & 5C HAS BEEN SUBMITTED TO AND CONSIDERED BY THE PLANNING COMMISSION OF THE CITY OF SAN ANTONIO, TEXAS, IS HEREBY APPROVED BY SUCH COMMISSION IN ACCORDANCE WITH STATE OR LOCAL LAWS AND REGULATIONS; AND/OR WHERE ADMINISTRATIVE EXCEPTION(S) AND/OR VARIANCE(S) HAVE BEEN GRANTED.

DATED THIS _____ DAY OF _____, A.D. 20____.

BY: _____ CHAIRMAN

BY: _____ SECRETARY

CERTIFICATE OF APPROVAL

THE UNDERSIGNED, COUNTY JUDGE OF BEXAR COUNTY, TEXAS AND PRESIDING OFFICER OF THE COMMISSIONERS COURT OF BEXAR COUNTY, DOES HEREBY CERTIFY THAT THE ATTACHED PLAT WAS DULY FILED WITH THE COMMISSIONERS COURT OF BEXAR COUNTY, TEXAS AND THAT AFTER EXAMINATION IT APPEARED THAT SAID PLAT IS IN CONFORMITY WITH THE STATUTES, RULES AND REGULATIONS GOVERNING SAME, AND THIS PLAT WAS APPROVED BY THE SAID COMMISSIONERS COURT.

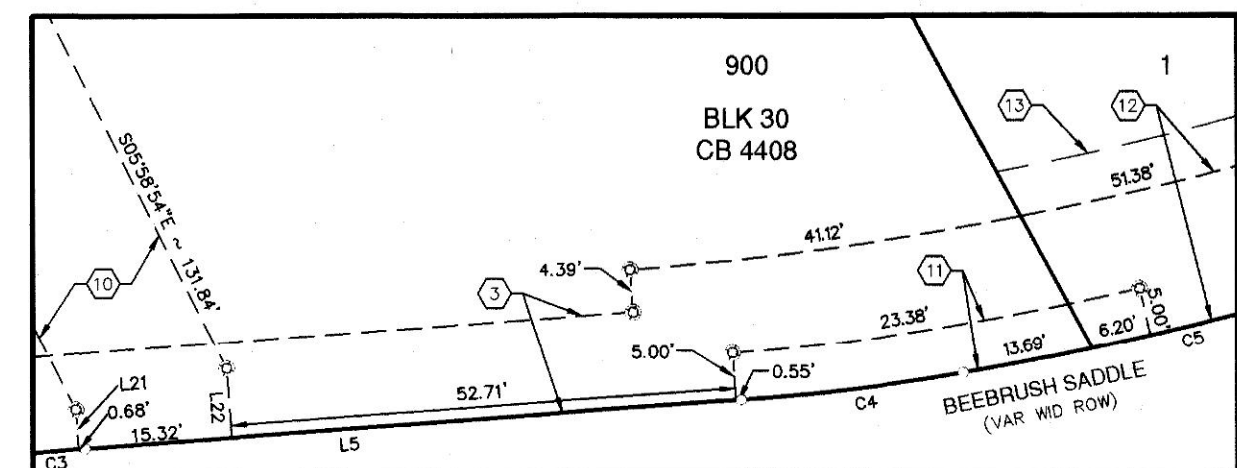
DATED THIS _____ DAY OF _____ A.D. 20_____.

COUNTY JUDGE, BEXAR COUNTY, TEXAS

COUNTY CLERK, BEXAR COUNTY, TEXAS

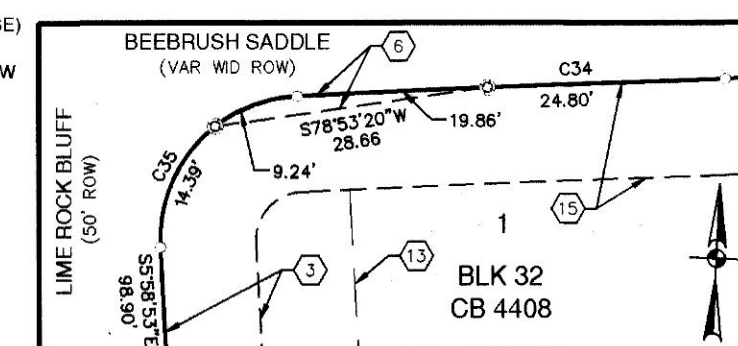


SCALE: 1" = 100'



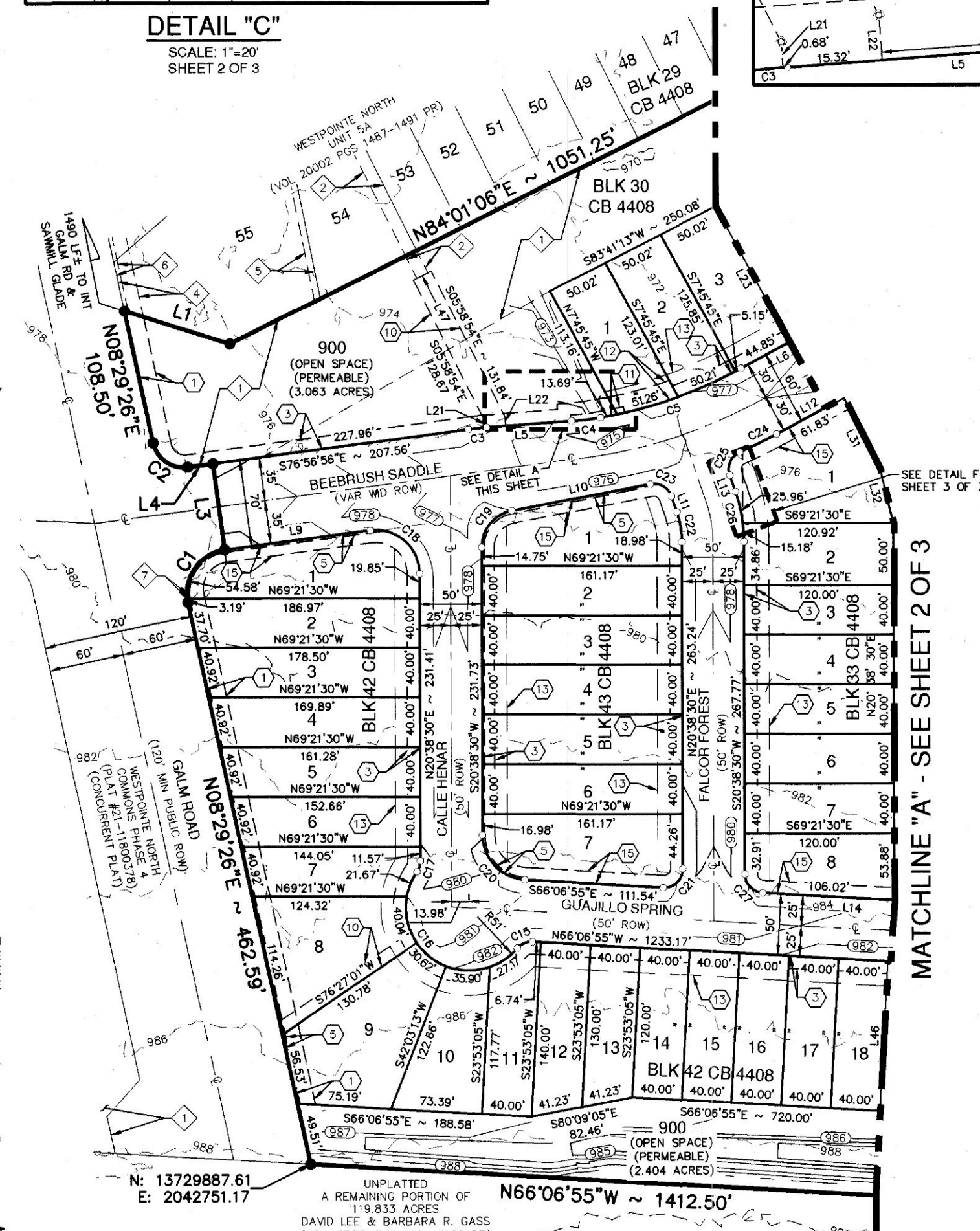
DETAIL "A"

SCALE: 1"=20'
THIS SHEET

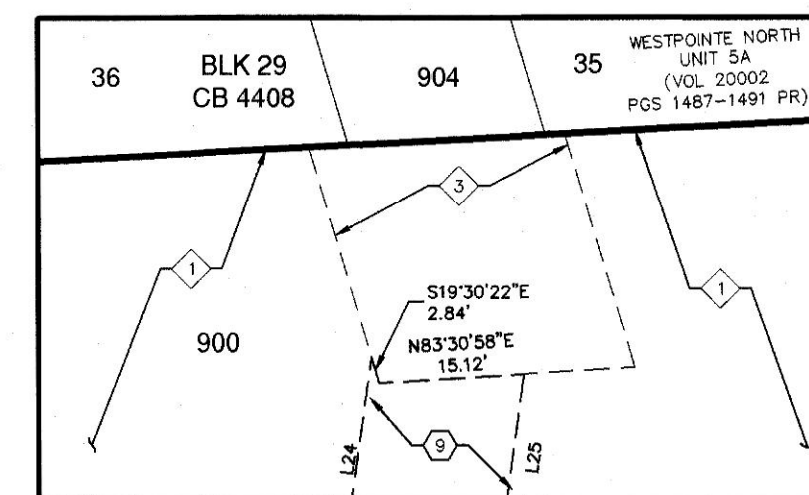


DETAIL "C"

SCALE: 1"=20'
SHEET 2 OF 3



MATCHLINE "A" - SEE SHEET 2 OF 3

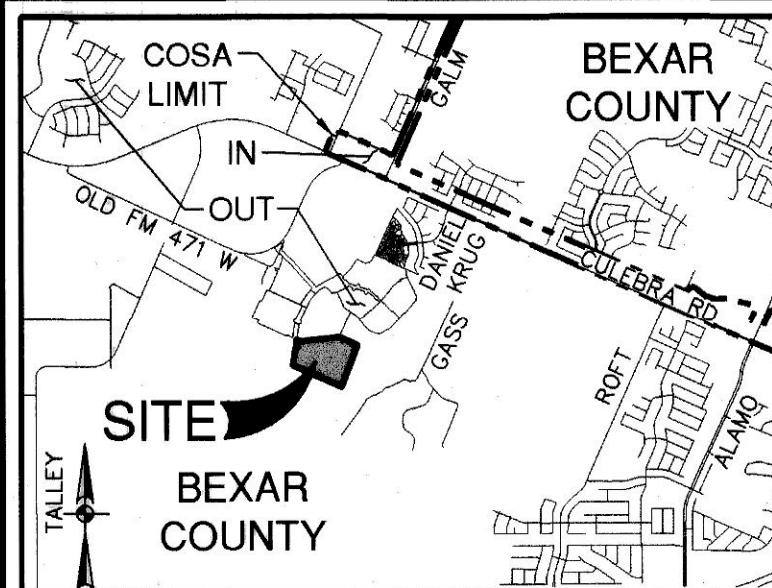


DETAIL "B"

SCALE: 1"=20'
SHEET 2 OF 3

**PLAT NOTES APPLY TO EVERY PAGE
OF THIS MULTIPLE PAGE PLAT**

SHEET 1 OF 3



LOCATION MAP

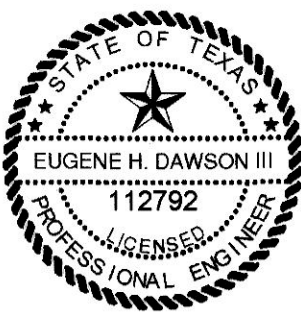
NOT-TO-SCALE

LEGEND

AC	ACRE(S)	VAR WID	LINEAR FEET
BLK	BLOCK	VOL	VARIABLE WIDTH
CB	COUNTY BLOCK	PG	VOLUME
DOC	DOCUMENT NUMBER	ROW	PAGE(S)
PR	PLAT RECORDS OF BEXAR COUNTY, TEXAS		RIGHT-OF-WAY
GETCTV	GAS, ELECTRIC, TELEPHONE AND CABLE TELEVISION (SURVEYOR)		REPETITIVE BEARING AND/OR DISTANCE
INT	INTERSECTION		FOUND 1/2" IRON ROD (UNLESS NOTED OTHERWISE)
DR	DEED RECORDS OF BEXAR COUNTY, TEXAS		SET 1/2" IRON ROD (PD)
OPR	OFFICIAL PUBLIC RECORDS OF REAL PROPERTY OF BEXAR COUNTY, TEXAS	(TYPE I, II OR III)	SET 1/2" IRON ROD (PD)-ROW
		<input checked="" type="checkbox"/>	FOUND TxDOT MONUMENTATION
		<input checked="" type="checkbox"/>	FOUND MONUMENTATION
		<input checked="" type="checkbox"/>	EASEMENT POINT OF INTERSECTION

— 1140 —	EXISTING CONTOURS	<input checked="" type="checkbox"/>	VARIABLE WIDTH WATER EASEMENT
— 1140 —	PROPOSED CONTOURS	<input checked="" type="checkbox"/>	VARIABLE WIDTH TURNAROUND EASEMENT
— C —	CENTERLINE	<input checked="" type="checkbox"/>	VARIABLE WIDTH DRAINAGE EASEMENT (VOL 20002 PGS 1233-1236 PR)
— — — — —	CITY OF SAN ANTONIO CITY LIMITS	<input checked="" type="checkbox"/>	10' WATER EASEMENT (VOL 20002 PGS 1487-1491 PR)

1	14' GETCTV EASEMENT	17	VARIABLE WIDTH TURNAROUND EASEMENT
3	10' GETCTV EASEMENT	1	VARIABLE WIDTH DRAINAGE EASEMENT (VOL 20002 PGS 1233-1236 PR)
5	1' VEHICULAR NON-ACCESS EASEMENT (NOT-TO-SCALE)	2	10' WATER EASEMENT (VOL 20002 PGS 1487-1491 PR)
6	VARIABLE WIDTH CLEAR VISION EASEMENT	3	VARIABLE WIDTH SANITARY SEWER EASEMENT (VOL 20002 PGS 1487-1491 PR)
9	16' SANITARY SEWER EASEMENT	4	14' GETCTV EASEMENT (VOL 20002 PGS 1487-1491 PR)
10	16' WATER EASEMENT	5	5' GETCTV EASEMENT (VOL 20002 PGS 1487-1491 PR)
11	5' WATER EASEMENT	6	1' VEHICULAR NON-ACCESS EASEMENT (VOL 20002 PGS 1487-1491 PR)
12	15' GETCTV EASEMENT	7	VARIABLE WIDTH CLEAR VISION EASEMENT (PLAT #21-11800378)
13	20' BUILDING SETBACK LINE	1	1% ANNUAL CHANCE (100-YR) PROPOSED FLOODPLAIN PER CLOWBY BY PAPE-DAWSON ENGINEERS, INC.
14	16' DRAINAGE EASEMENT	2	1% ANNUAL CHANCE (100-YR) PROPOSED UTM DEVELOPMENT FLOODPLAIN (ATLAS 14) PER FLOOD STUDY BY PAPE-DAWSON ENGINEERS, INC.
15	10' BUILDING SETBACK LINE AND GETCTV EASEMENT		



STATE OF TEXAS
COUNTY OF BEXAR

I HEREBY CERTIFY THAT PROPER ENGINEERING CONSIDERATION HAS BEEN GIVEN THIS PLAT TO THE MATTERS OF STREETS, LOTS AND DRAINAGE LAYOUT. TO THE BEST OF MY KNOWLEDGE THIS PLAT CONFORMS TO ALL REQUIREMENTS OF THE UNIFIED DEVELOPMENT CODE, EXCEPT FOR THOSE VARIANCES GRANTED BY THE SAN ANTONIO PLANNING COMMISSION.

STATE OF TEXAS
COUNTY OF BEXAR

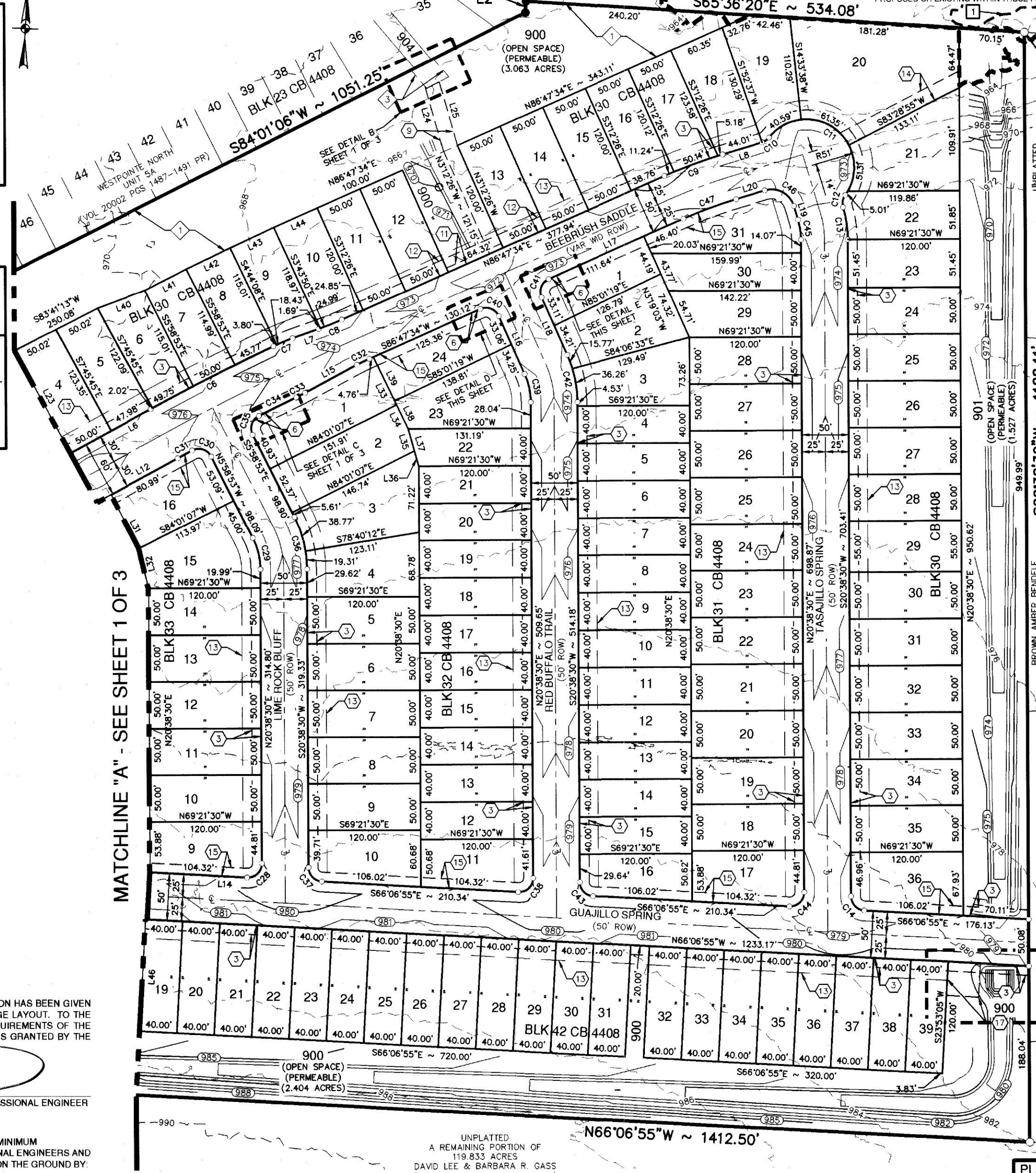
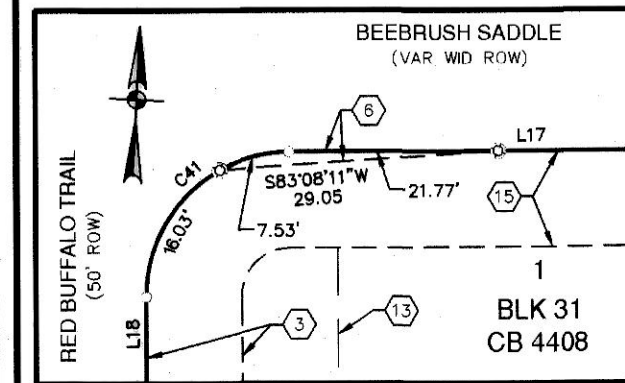
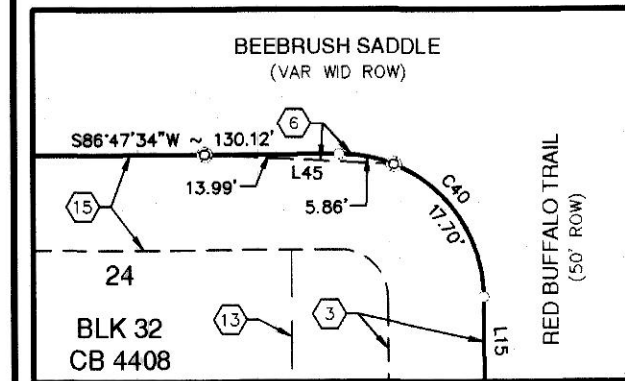
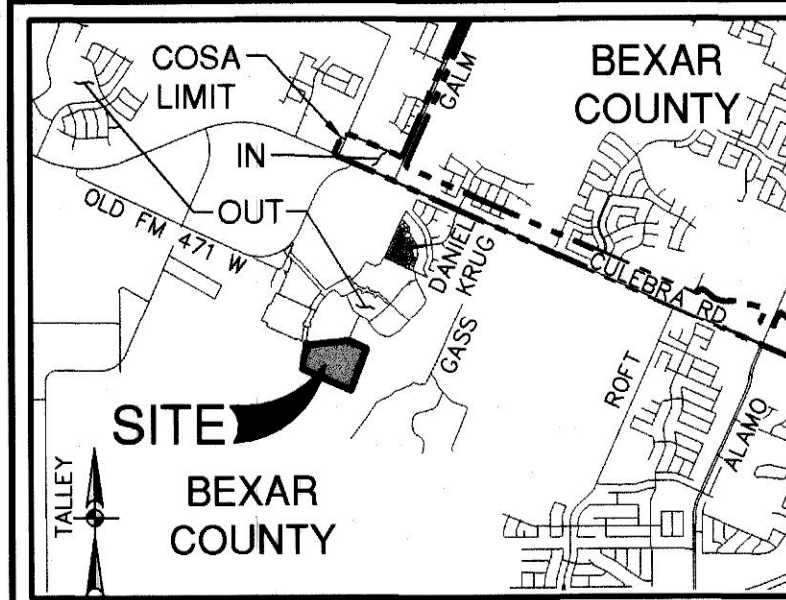
LICENSED PROFESSIONAL ENGINEER

I HEREBY CERTIFY THAT THE ABOVE PLAT CONFORMS TO THE MINIMUM STANDARDS SET FORTH BY THE TEXAS BOARD OF PROFESSIONAL ENGINEERS AND LAND SURVEYORS ACCORDING TO AN ACTUAL SURVEY MADE ON THE GROUND BY: PAPE-DAWSON ENGINEERS, INC.

PAPE-DAWSON ENGINEERS, INC.
[Signature] 04/13/2022
 REGISTERED PROFESSIONAL LAND SURVEYOR

N: 13729887.61
E: 2042751.17

UNPLATTED
A REMAINING PORTION OF
119.833 ACRES
DAVID LEE & BARBARA R. GASS
(VOL. 2796, PGS 1134-1136 DR)



SAWS IMPACT FEE:

WATER AND/OR WASTEWATER IMPACT FEES WERE NOT PAID AT THE TIME OF PLATTING FOR THIS PLAT. ALL IMPACT FEES MUST BE PAID PRIOR TO WATER METER SET AND/OR WASTEWATER SERVICE CONNECTION.

SAWS WASTEWATER EDU:

THE NUMBER OF WASTEWATER EQUIVALENT DWELLING UNITS (EDU'S) PAID FOR THIS SUBDIVISION PLAT ARE KEPT ON FILE UNDER THE PLAT NUMBER AT THE SAN ANTONIO WATER SYSTEM.

CPS/SAWS/COSA UTILITY:

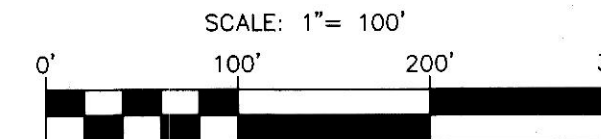
1. THE CITY OF SAN ANTONIO AS PART OF ITS ELECTRIC, GAS, WATER, AND WASTEWATER SYSTEMS: CITY PUBLIC SERVICE BOARD (CPS ENERGY) AND SAN ANTONIO WATER SYSTEM (SAWS) IS HEREBY DEDICATING EASEMENTS AND RIGHTS-OF-WAY FOR UTILITY, TRANSMISSION AND DISTRIBUTION INFRASTRUCTURE AND SERVICE FACILITIES IN THE AREAS DESIGNATED ON THIS PLAT AS "ELECTRIC EASEMENT," "ANCHOR EASEMENT," "SERVICE EASEMENT," "OVERHANG EASEMENT," "UTILITY EASEMENT," "GAS EASEMENT," "TRANSFORMER EASEMENT," "WATER EASEMENT," "SANITARY SEWER EASEMENT," AND/OR "RECYCLED WATER EASEMENT" FOR THE PURPOSE OF INSTALLING, CONSTRUCTING, RECONSTRUCTING, MAINTAINING, REMOVING, INSPECTING, PATROLLING, AND ERECTING UTILITY INFRASTRUCTURE AND SERVICE FACILITIES FOR THE REASONS DESCRIBED ABOVE. CPS ENERGY AND SAWS SHALL ALSO HAVE THE RIGHT TO RELOCATE SAID INFRASTRUCTURE AND SERVICE FACILITIES WITHIN EASEMENT AND RIGHT-OF-WAY AREAS, TOGETHER WITH THE RIGHT OF INGRESS AND EGRESS OVER GRANTOR'S ADJACENT LANDS FOR THE PURPOSE OF ACCESSING SUCH INFRASTRUCTURE AND SERVICE FACILITIES AND THE RIGHT TO REMOVE FROM SAID LANDS ALL TREES OR PARTS THEREOF, OR OTHER OBSTRUCTIONS WHICH ENDANGER OR MAY INTERFERE WITH THE EFFICIENCY OF WATER, SEWER, GAS, AND/OR ELECTRIC INFRASTRUCTURE AND SERVICE FACILITIES. NO BUILDING, STRUCTURE, CONCRETE SLABS, OR WALLS WILL BE PLACED WITHIN EASEMENT AREAS WITHOUT AN ENCROACHMENT AGREEMENT WITH THE RESPECTIVE UTILITY.

2. ANY CPS ENERGY OR SAWS MONETARY LOSS RESULTING FROM MODIFICATIONS REQUIRED OF CPS ENERGY OR SAWS INFRASTRUCTURE AND SERVICE FACILITIES, LOCATED WITHIN SAID EASEMENTS, DUE TO GRADE CHANGES OR GROUND ELEVATION ALTERATIONS, SHALL BE CHARGED TO THE PERSON OR PERSONS DEEMED RESPONSIBLE FOR SAID GRADE CHANGES OR GROUND ELEVATION ALTERATIONS.

3. THIS PLAT DOES NOT AMEND, ALTER, RELEASE OR OTHERWISE AFFECT ANY EXISTING ELECTRIC, GAS, WATER, SEWER, DRAINAGE, TELEPHONE, CABLE TV EASEMENTS OR ANY OTHER EASEMENTS FOR UTILITIES UNLESS THE CHANGES TO SUCH EASEMENTS ARE DESCRIBED HEREON.

4. CONCRETE DRIVEWAY APPROACHES ARE ALLOWED WITHIN THE FIVE (5) AND TEN (10) FOOT WIDE ELECTRIC AND GAS EASEMENTS WHEN LOTS ARE SERVED ONLY BY UNDERGROUND ELECTRIC AND GAS FACILITIES.

5. ROOF OVERHANGS ARE ALLOWED WITHIN THE FIVE (5) AND TEN (10) FOOT WIDE ELECTRIC AND GAS EASEMENTS WHEN ONLY UNDERGROUND ELECTRIC AND GAS FACILITIES ARE PROPOSED OR EXISTING WITHIN THOSE FIVE (5) AND TEN (10) FOOT WIDE EASEMENTS.



UNPLATTED REMAINING PORTION OF 263.961 ACRES NATIONAL SKEET SHOOTING ASSOCIATION (VOL. 9290, PGS. 232-240 OPR)

PLAT NO. 21-11800366

SUBDIVISION PLAT OF WESTPOINTE NORTH UNIT 5B & 5C

BEING A TOTAL OF 34.471 ACRE TRACT OF LAND, ESTABLISHING LOTS 1-36, 900, AND 901, BLOCK 30, LOTS 1-31, BLOCK 31, LOTS 1-24 BLOCK 32, LOTS 1-16, BLOCK 33, LOTS 1-39, AND 900, BLOCK 42, AND LOTS 1-7, BLOCK 43, AND A 6.392 ACRE RIGHT-OF-WAY, COMPRISED OF 34.414 ACRES OUT OF A 34.49 ACRE TRACT OF LAND RECORDED IN DOCUMENT NUMBER 20220048468, AND 0.057 ACRE OUT OF A 22.882 ACRE TRACT OF LAND RECORDED IN DOCUMENT NUMBER 20210082215, ALL OF THE OFFICIAL PUBLIC RECORDS OF BEXAR COUNTY, TEXAS, OUT OF THE LOUIS GONZALEZ SURVEY 84, ABSTRACT 253, COUNTY BLOCK 4408, IN BEXAR COUNTY, TEXAS.



SAN ANTONIO | AUSTIN | HOUSTON | FORT WORTH | DALLAS
2000 NW LOOP 410 | SAN ANTONIO, TX 78213 | 210.375.9000
TSP# FIRM REGISTRATION #470 | TSP# FIRM REGISTRATION #10208800

DATE OF PREPARATION: April 12, 2022

STATE OF TEXAS
COUNTY OF BEXAR

THE OWNER OF LAND SHOWN ON THIS PLAT, IN PERSON OR THROUGH A DULY AUTHORIZED AGENT, DEDICATES TO THE USE OF THE PUBLIC, EXCEPT AREAS IDENTIFIED AS PRIVATE OR PART OF AN ENCLAVE OR PLANNED UNIT DEVELOPMENT, FOREVER ALL STREETS, ALLEYS, PARKS, WATERCOURSES, DRAINS, EASEMENTS AND PUBLIC PLACES THEREON SHOWN FOR THE PURPOSE AND CONSIDERATION THEREIN EXPRESSED.

OWNER/DEVELOPER: PAUL POWELL
HDC OLD CULEBRA, LLC
100 NE LOOP 410, STE 1080
SAN ANTONIO, TEXAS 78216
(210) 838-6784

STATE OF TEXAS
COUNTY OF BEXAR

BEFORE ME, THE UNDERSIGNED AUTHORITY ON THIS DAY PERSONALLY APPEARED PAUL POWELL KNOWN TO ME TO BE THE PERSON WHOSE NAME IS SUBSCRIBED TO THE FOREGOING INSTRUMENT, AND ACKNOWLEDGED TO ME THAT HE EXECUTED THE SAME FOR THE PURPOSES AND CONSIDERATIONS THEREIN EXPRESSED AND IN THE CAPACITY THEREIN STATED. GIVEN UNDER MY HAND AND SEAL OF OFFICE THIS _____ DAY OF _____, A.D. 20__.

NOTARY PUBLIC, BEXAR COUNTY, TEXAS

THIS PLAT OF WESTPOINTE NORTH UNIT 5B & 5C, HAS BEEN SUBMITTED TO AND CONSIDERED BY THE PLANNING COMMISSION OF THE CITY OF SAN ANTONIO, TEXAS, IS HEREBY APPROVED BY SUCH COMMISSION IN ACCORDANCE WITH STATE OR LOCAL LAWS AND REGULATIONS, AND/OR WHERE ADMINISTRATIVE EXCEPTION(S) AND/OR VARIANCE(S) HAVE BEEN GRANTED.

DATED THIS _____ DAY OF _____, A.D. 20__

BY: _____ CHAIRMAN

BY: _____ SECRETARY

CERTIFICATE OF APPROVAL

THE UNDERSIGNED, COUNTY JUDGE OF BEXAR COUNTY, TEXAS AND PRESIDING OFFICER OF THE COMMISSIONERS COURT OF BEXAR COUNTY, DOES HEREBY CERTIFY THAT THE ATTACHED PLAT WAS DULY FILED WITH THE COMMISSIONERS COURT OF BEXAR COUNTY, TEXAS AND THAT AFTER EXAMINATION IT APPEARED THAT SAID PLAT IS IN CONFORMITY WITH THE STATUTES, RULES AND REGULATIONS GOVERNING SAME, AND THIS PLAT WAS APPROVED BY THE SAID COMMISSIONERS COURT.

DATED THIS _____ DAY OF _____, A.D. 20__

COUNTY JUDGE, BEXAR COUNTY, TEXAS

COUNTY CLERK, BEXAR COUNTY, TEXAS

STATE OF TEXAS
COUNTY OF BEXAR

I HEREBY CERTIFY THAT PROPER ENGINEERING CONSIDERATION HAS BEEN GIVEN THIS PLAT TO THE MATTERS OF STREETS, LOTS AND DRAINAGE LAYOUT. TO THE BEST OF MY KNOWLEDGE THIS PLAT CONFORMS TO ALL REQUIREMENTS OF THE UNIFIED DEVELOPMENT CODE, EXCEPT FOR THOSE VARIANCES GRANTED BY THE SAN ANTONIO PLANNING COMMISSION.

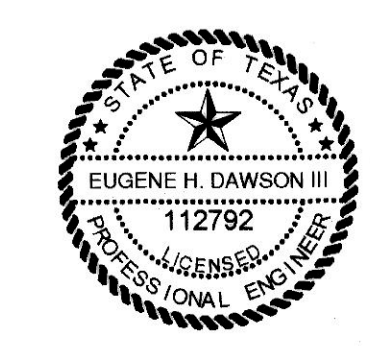
LICENSED PROFESSIONAL ENGINEER

STATE OF TEXAS
COUNTY OF BEXAR

I HEREBY CERTIFY THAT THE ABOVE PLAT CONFORMS TO THE MINIMUM STANDARDS SET FORTH BY THE TEXAS BOARD OF PROFESSIONAL ENGINEERS AND LAND SURVEYORS ACCORDING TO AN ACTUAL SURVEY MADE ON THE GROUND BY: PAPE-DAWSON ENGINEERS, INC.

REGISTERED PROFESSIONAL LAND SURVEYOR

04/13/2022



PLAT NOTES APPLY TO EVERY PAGE OF THIS MULTIPLE PAGE PLAT

SHEET 2 OF 3

WESTPOINTE NORTH UNIT 5B & 5C
Civil Job No. 11144-49; Survey Job No. 11144-53
Date: Apr 12, 2022, 12:04pm User: ID: NACUNA
File: P:\11144\53\Design\Graf\Plat\11144-53.dwg

PLAT NO. 21-11800366

SUBDIVISION PLAT
OF
WESTPOINTE NORTH
UNIT 5B & 5C

BEING A TOTAL OF 34.414 ACRE TRACT OF LAND, ESTABLISHING LOTS 1-36, 900, AND 901, BLOCK 30, LOTS 1-31, BLOCK 31, LOTS 1-24 BLOCK 32, LOTS 1-16, BLOCK 33, LOTS 1-39, AND 900, BLOCK 42, AND LOTS 1-7, BLOCK 43, AND A 6.392 ACRE RIGHT-OF-WAY, COMPRISED OF 34.414 ACRES OUT OF A 34.49 ACRE TRACT OF LAND RECORDED IN DOCUMENT NUMBER 2022048468, AND 0.057 ACRES OUT OF A 22.882 ACRE TRACT OF LAND RECORDED IN DOCUMENT NUMBER 20210082215, ALL OF THE OFFICIAL PUBLIC RECORDS OF BEXAR COUNTY, TEXAS, OUT OF THE LOUSE COWZAR SURVEY 84, ABSTRACT 253, COUNTY BLOCK 4408, IN BEXAR COUNTY, TEXAS.

**PAPE-DAWSON
ENGINEERS**

SAN ANTONIO | AUSTIN | HOUSTON | FORT WORTH | DALLAS

2000 NW LOOP 410 | SAN ANTONIO, TX 78215 | 210.375.9000

TYPE FIRM REGISTRATION #470 | TPLS FIRM REGISTRATION #10028600

DATE OF PREPARATION: April 12, 2022

STATE OF TEXAS
COUNTY OF BEXAR

THE OWNER OF LAND SHOWN ON THIS PLAT, IN PERSON OR THROUGH A DULY AUTHORIZED AGENT, DEDICATES TO THE USE OF THE PUBLIC, EXCEPT AREAS IDENTIFIED AS PRIVATE OR PART OF AN ENCLAVE OR PLANNED UNIT DEVELOPMENT, FOREVER ALL STREETS, ALLEYS, PARKS, WATERCOURSES, DRAINS, EASEMENTS AND PUBLIC PLACES THEREON SHOWN FOR THE PURPOSE AND CONSIDERATION THEREIN EXPRESSED.

BEFORE ME, THE UNDERSIGNED AUTHORITY ON THIS DAY PERSONALLY APPEARED PAUL POWELL KNOWN TO ME TO BE THE PERSON WHOSE NAME IS SUBSCRIBED TO THE FOREGOING INSTRUMENT, AND ACKNOWLEDGED TO ME THAT HE EXECUTED THE SAME FOR THE PURPOSES AND CONSIDERATIONS THEREIN EXPRESSED AND IN THE CAPACITY THEREIN STATED, GIVEN UNDER MY HAND AND SEAL OF OFFICE THIS 14 DAY OF April, A.D. 20 22

NOTARY PUBLIC, BEXAR COUNTY, TEXAS

THIS PLAT OF WESTPOINTE NORTH UNIT 5B & 5C HAS BEEN SUBMITTED TO AND CONSIDERED BY THE PLANNING COMMISSION OF THE CITY OF SAN ANTONIO, TEXAS, IS HEREBY APPROVED BY SUCH COMMISSION IN ACCORDANCE WITH STATE OR LOCAL LAWS AND REGULATIONS, AND/OR WHERE ADMINISTRATIVE EXCEPTION(S) AND/OR VARIANCE(S) HAVE BEEN GRANTED.

DATED THIS _____ DAY OF _____, A.D. 20 ____

BY: _____ CHAIRMAN

BY: _____ SECRETARY

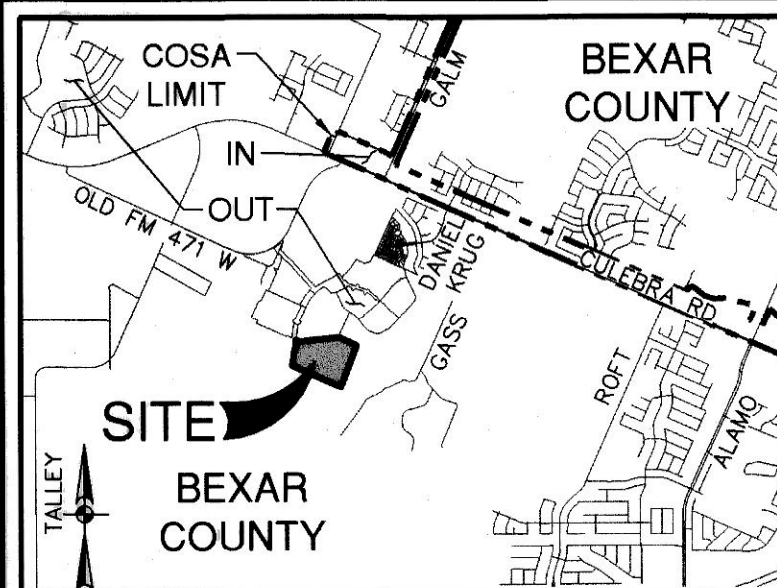
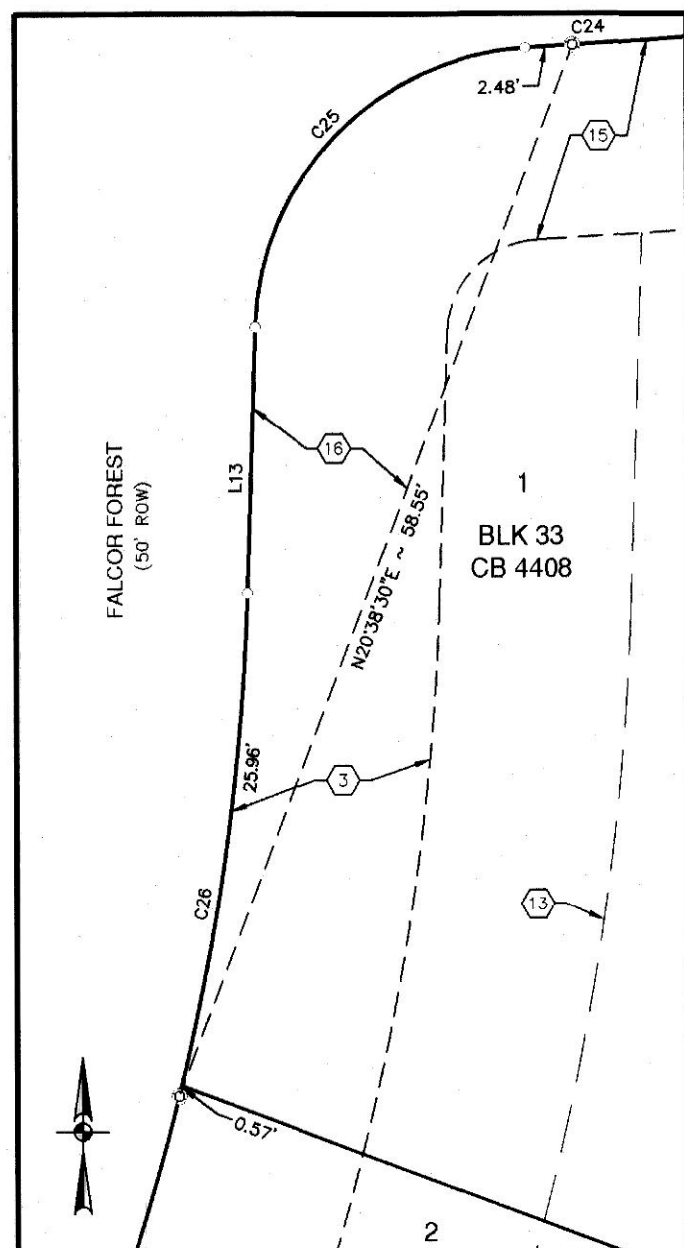
CERTIFICATE OF APPROVAL

THE UNDERSIGNED, COUNTY JUDGE OF BEXAR COUNTY, TEXAS AND PRESIDING OFFICER OF THE COMMISSIONERS COURT OF BEXAR COUNTY, DOES HEREBY CERTIFY THAT THE ATTACHED PLAT WAS DULY FILED WITH THE COMMISSIONERS COURT OF BEXAR COUNTY, TEXAS AND THAT AFTER EXAMINATION IT APPEARED THAT SAID PLAT IS IN CONFORMITY WITH THE STATUTES, RULES AND REGULATIONS GOVERNING SAME, AND THIS PLAT WAS APPROVED BY THE SAID COMMISSIONERS COURT.

DATED THIS _____ DAY OF _____, A.D. 20 ____

COUNTY JUDGE, BEXAR COUNTY, TEXAS

COUNTY CLERK, BEXAR COUNTY, TEXAS

LOCATION MAP
NOT-TO-SCALEDETAIL "F"
SCALE: 1"=10'
SHEET 1 OF 3

SURVEYOR'S NOTES:

- MONUMENTS WERE FOUND OR SET AT EACH CORNER OF THE SURVEY BOUNDARY OF THE SUBDIVISION AS NOTED. MONUMENTS AND LOT MARKERS WILL BE SET WITH 1/2" IRON ROD WITH CAP MARKED "PAPE-DAWSON" OR MAG NAIL WITH DISK MARKED "PAPE-DAWSON" AFTER THE COMPLETION OF UTILITY INSTALLATION AND STREET CONSTRUCTION UNLESS NOTED OTHERWISE.
- COORDINATES SHOWN ARE BASED ON THE NORTH AMERICAN DATUM OF 1983 NAD83 (NA2011) EPOCH 2010.00 FROM THE TEXAS COORDINATE SYSTEM ESTABLISHED FOR THE SOUTH CENTRAL ZONE DISPLAYED IN GRID VALUES DERIVED FROM THE NGS COOPERATIVE COPS NETWORK.
- DIMENSIONS SHOWN ARE SURFACE.
- BEARINGS ARE BASED ON THE NORTH AMERICAN DATUM OF 1983 NAD83 (NA2011) EPOCH 2010.00, FROM THE TEXAS COORDINATE SYSTEM ESTABLISHED FOR THE SOUTH CENTRAL ZONE.

STATE OF TEXAS
COUNTY OF BEXAR

I HEREBY CERTIFY THAT PROPER ENGINEERING CONSIDERATION HAS BEEN GIVEN THIS PLAT TO THE MATTERS OF STREETS, LOTS AND DRAINAGE LAYOUT, TO THE BEST OF MY KNOWLEDGE THIS PLAT CONFORMS TO ALL REQUIREMENTS OF THE UNIFIED DEVELOPMENT CODE, EXCEPT FOR THOSE VARIANCES GRANTED BY THE SAN ANTONIO PLANNING COMMISSION.

STATE OF TEXAS
COUNTY OF BEXAR

I HEREBY CERTIFY THAT THE ABOVE PLAT CONFORMS TO THE MINIMUM STANDARDS SET FORTH BY THE TEXAS BOARD OF PROFESSIONAL ENGINEERS AND LAND SURVEYORS ACCORDING TO AN ACTUAL SURVEY MADE ON THE GROUND BY: PAPE-DAWSON ENGINEERS, INC.

E. Buchanan 04/13/2022
REGISTERED PROFESSIONAL LAND SURVEYOR

CPS/SAWS/COSA UTILITY:

1. THE CITY OF SAN ANTONIO AS PART OF ITS ELECTRIC, GAS, WATER, AND WASTEWATER SYSTEMS - CITY PUBLIC SERVICE BOARD (CPS ENERGY) AND SAN ANTONIO WATER SYSTEM (SAWS) - IS HEREBY DEDICATING EASEMENTS AND OWNERS OF ALL PROPERTY TRANSMISSION AND DISTRIBUTION INFRASTRUCTURE AND SERVICE FACILITIES IN THE AREAS DESIGNATED ON THIS PLAT AS "ELECTRIC EASEMENT," "ANCHOR EASEMENT," "SERVICE EASEMENT," "OVERHANG EASEMENT," "UTILITY EASEMENT," "GAS EASEMENT," "TRANSFORMER EASEMENT," "WATER EASEMENT," "SANITARY SEWER EASEMENT" AND/OR "RECYCLED WATER EASEMENT" FOR THE PURPOSE OF INSTALLING, CONSTRUCTING, RECONSTRUCTING, MAINTAINING, REMOVING, INSPECTING, PATROLLING, AND ERECTING UTILITY INFRASTRUCTURE AND SERVICE FACILITIES FOR THE REASONS DESCRIBED ABOVE. CPS ENERGY AND SAWS SHALL ALSO HAVE THE RIGHT TO RELOCATE SAID INFRASTRUCTURE AND SERVICE FACILITIES WITHIN EASEMENT AND RIGHT-OF-WAY AREAS, TOGETHER WITH THE RIGHT OF INGRESS AND EGRESS OVER GRANTOR'S ADJACENT LANDS FOR THE PURPOSE OF ACCESSING SUCH INFRASTRUCTURE AND SERVICE FACILITIES AND THE RIGHT TO REMOVE FROM SAID LANDS ALL TREES OR PARTS THEREOF, OR OTHER OBSTRUCTIONS WHICH ENDANGER OR MAY INTERFERE WITH THE EFFICIENCY OF WATER, SEWER, GAS, AND/OR ELECTRIC INFRASTRUCTURE AND SERVICE FACILITIES. NO BUILDING, STRUCTURE, CONCRETE SLABS, OR WALLS WILL BE PLACED WITHIN EASEMENT AREAS WITHOUT AN ENCROACHMENT AGREEMENT WITH THE RESPECTIVE UTILITY.

2. ANY CPS ENERGY OR SAWS MONETARY LOSS RESULTING FROM MODIFICATIONS REQUIRED OF CPS ENERGY OR SAWS INFRASTRUCTURE AND SERVICE FACILITIES, LOCATED WITHIN SAID EASEMENTS, DUE TO GRADE CHANGES OR GROUND ELEVATION ALTERATIONS SHALL BE CHARGED TO THE PERSON OR PERSONS DEEMED RESPONSIBLE FOR SAID GRADE CHANGES OR GROUND ELEVATION ALTERATIONS.

3. THIS PLAT DOES NOT AMEND, ALTER, RELEASE OR OTHERWISE AFFECT ANY EXISTING ELECTRIC, GAS, WATER, SEWER, DRAINAGE, TELEPHONE, CABLE TV EASEMENTS OR ANY OTHER EASEMENTS FOR UTILITIES UNLESS THE CHANGES TO SUCH EASEMENTS ARE DESCRIBED HEREON.

4. CONCRETE DRIVEWAY APPROACHES ARE ALLOWED WITHIN THE FIVE (5) AND TEN (10) FOOT WIDE ELECTRIC AND GAS EASEMENTS WHEN LOTS ARE SERVED ONLY BY UNDERGROUND ELECTRIC AND GAS FACILITIES.

5. ROOF OVERHANGS ARE ALLOWED WITHIN THE FIVE (5) AND TEN (10) FOOT WIDE ELECTRIC AND GAS EASEMENTS WHEN ONLY UNDERGROUND ELECTRIC AND GAS FACILITIES ARE PROPOSED OR EXISTING WITHIN THOSE FIVE (5) AND TEN (10) FOOT WIDE EASEMENTS.

SETBACK:

THE SETBACKS ON THIS PLAT ARE IMPOSED BY THE PROPERTY OWNER OR BEXAR COUNTY AND ARE NOT SUBJECT TO ENFORCEMENT BY THE CITY OF SAN ANTONIO.

COMMON AREA MAINTENANCE:

THE MAINTENANCE OF ALL OPEN SPACE, GREENBELTS, PARKS, TREE SAVE AREAS, INCLUDING LOTS 900 AND 901, BLOCK 30, AND LOT 900, BLOCK 42, CB 4408, DRAINAGE EASEMENTS AND EASEMENTS OF ANY OTHER NATURE WITHIN THIS SUBDIVISION SHALL BE THE RESPONSIBILITY OF THE PROPERTY OWNERS, OR THE PROPERTY OWNERS' ASSOCIATION, OR ITS SUCCESSORS OR ASSIGNS AND NOT THE RESPONSIBILITY OF THE CITY OF SAN ANTONIO OR BEXAR COUNTY.

MASTER TREE PLAN:

THIS SUBDIVISION IS SUBJECT TO A MASTER TREE PLAN (AP#2689489-2458337) WHICH REQUIRES COMPLIANCE BY THE OWNERS OF ALL PROPERTY WITHIN THE PLAT BOUNDARY, AND THEIR EMPLOYEES AND CONTRACTORS, AND SHALL BE BINDING ON ALL SUCCESSORS IN TITLE EXCEPT FOR OWNERS OF SINGLE-FAMILY RESIDENTIAL LOTS SUBDIVIDED HEREUNDER FOR WHICH CONSTRUCTION OF A RESIDENTIAL STRUCTURE HAS BEEN COMPLETED. THE MASTER TREE PLAN IS ON FILE AT THE CITY OF SAN ANTONIO ARBORISTS OFFICE. NO TREES OR UNDERSTORY SHALL BE REMOVED WITHOUT PRIOR APPROVAL OF THE CITY ARBORIST OFFICE PER 35-477(H).

LINE TABLE		
LINE #	BEARING	LENGTH
L1	S51°52'25"E	88.73'
L2	N23°57'30"E	12.19'
L3	N13°03'04"E	70.00'
L4	N78°56'56"W	20.40'
L5	S73°33'47"E	68.58'
L6	N82°14'15"E	142.82'
L7	S88°42'40"E	29.67'
L8	S85°56'35"E	44.01'
L9	N76°56'56"W	118.26'
L10	N80°18'05"W	113.54'
L11	N1°47'07"E	13.38'
L12	S82°14'15"W	142.82'
L13	S1°47'07"W	13.90'
L14	S66°06'55"E	210.34'
L15	S82°17'49"W	62.95'
L16	N31°22'26"W	67.31'
L17	S86°47'34"W	158.04'
L18	S31°22'26"E	67.31'
L19	N4°03'25"E	15.32'
L20	N85°56'35"W	31.96'
L21	S16°26'13"W	4.12'
L22	S16°26'13"W	7.29'
L23	S7°45'45"E	124.62'
L24	N5°00'56"E	71.44'
L25	S5°00'56"W	70.72'
L31	N5°58'53"W	65.07'
L32	N7°28'24"E	43.91'
L33	N4°58'41"W	56.96'
L34	N4°58'41"W	28.32'
L35	N5°01'05"E	24.50'
L36	N5°01'05"E	17.03'
L37	N5°01'05"E	41.53'
L38	N4°58'41"W	32.91'
L39	N4°58'41"W	52.37'
L40	S89°38'25"E	53.86'
L41	N83°48'40"E	50.00'
L42	N84°48'03"E	52.06'
L43	N85°47'45"E	51.67'
L44	N86°39'32"E	50.91'
L45	N89°55'23"W	19.74'
L46	S23°53'05"W	120.00'
L47	N84°01'06"E	16.00'

CURVE TABLE

CURVE #	RADIUS	DELTA	CHORD BEARING	CHORD	LENGTH
C1	35.00'	94°33'39"	N55°46'15"E	51.43'	57.76'
C2	25.00'	85°26'21"	N34°13'45"W	33.92'	37.28'
C3	250.00'	3°23'09"	S75°15'21"E	14.77'	14.77'
C4	240.00'	5°34'07"	S76°20'50"E	23.32'	23.33'
C5	370.00'	18°37'51"	S88°26'49"E	119.78'	120.31'
C6	2830.00'	2°59'14"	N83°43'52"E	147.52'	147.54'
C7	210.00'	6°03'51"	N88°15'24"E	22.22'	22.23'
C8	340.00'	4°29'46"	N89°02'27"E	26.67'	26.68'
C9	525.00'	7°15'50"	S89°34'30"E	66.52'	66.56'
C10	15.00'	35°05'48"	N76°30'30"E	9.05'	9.19'
C11	51.00'	177°47'49"	S32°08'29"E	101.98'	158.26'
C12	15.00'	52°12'55"	S30°38'58"W	13.20'	13.67'
C13	125.00'	16°05'59"	S12°35'31"W	35.01'	35.12'
C14	15.00'	86°45'25"	S22°44'13"E	20.60'	22.71'
C15	15.00'	52°41'41"	S87°32'14"W	13.31'	13.80'
C16	51.00'	174°34'57"	N31°31'08"W	101.89'	155.40'
C17	15.00'	35°07'50"	N38°12'25"E	9.05'	9.20'
C18	35.00'	97°35'26"	N28°09'13"W	52.67'	59.61'
C19	30.00'	79°03'25"	S60°10'12"W	38.19'	41.39'
C20	36.00'	86°45'25"	S22°44'12"E	49.45'	54.51'
C21	15.00'	93°14'35"	N67°15'48"E	21.80'	24.41'
C22	75.00'	18°51'13"	N11°12'44"E	24.57'	24.68'
C23	15.00'	82°05'13"	N39°15'29"W	19.70'	21.49'
C24	430.00'	4°23'27"	S84°25'58"W	32.94'	32.95'
C25	15.00'	84°50'34"	S44°12'25"W	20.24'	22.21'
C26	125.00'	18°51'23"	S11°12'49"W	40.95'	41.14'
C27	15.00'	86°45'25"	S22°44'12"E	20.60'	22.71'
C28	15.00'	93°14'35"	N67°15'47"E	21.80'	24.41'
C29	75.00'	26°37'23"	N7°19'48"E	34.54'	34.85'
C30	15.00'	91°24'57"	N51°41'22"W	21.47'	23.93'
C31	2770.00'	0°21'55"	S82°25'12"W	17.65'	17.65'
C32	190.00'	4°29'46"	S84°32'42"W	14.91'	14.91'
C33	210.00'	2°53'36"	S63°44'37"W	10.60'	10.61'
C34	2770.00'	0°55'26"	S84°43'43"W	44.66'	44.66'
C35	15.00'	90°14'53"	S39°08'33"W	21.26'	23.63'
C36	125.00'	26°37'23"	S7°19'48"W	57.56'	58.08'
C37	15.00'	86°45'25"	S22°44'12"E	20.60'	22.71'
C38	15.00'	93°14'35"	N67°15'48"E	21.80'	24.41'
C39	75.00'	23°50'56"	N8°43'02"E	30.99'	31.22'
C40	15.00'	90°00'00"	N48°12'26"W	21.21'	23.56'
C41	15.00'	90°00'00"	S41°47'34"W	21.21'	23.56'
C42	125.00'	23°50'56"	S8°43'02"W	51.66'	52.03'
C43	15.00'	86°45'25"	S22°44'13"E	20.60'	22.71'
C44	15.00'	93°14'35"	N67°15'47"E	21.80'	24.41'
C45	75.00'	16°35'05"	N12°20'57"E	21.63'	21.71'
C46	25.00'	90°00'00"	N40°56'35"W	35.36'	39.27'
C47	475.00'	7°15'50"	N89°34'30"W	60.18'	60.22'

SAWS IMPACT FEE:

WATER AND/OR WASTEWATER IMPACT FEES WERE NOT PAID AT THE TIME OF PLATTING FOR THIS PLAT. ALL IMPACT FEES MUST BE PAID PRIOR TO WATER METER SET FOR AND/OR WASTEWATER SERVICE CONNECTION.

SAWS WASTEWATER EDU:

THE NUMBER OF WASTEWATER EQUIVALENT DWELLING UNITS (EDU'S) PAID FOR THIS SUBDIVISION PLAT ARE KEPT ON FILE UNDER THE PLAT NUMBER AT THE SAN ANTONIO WATER SYSTEM.

SAWS DEDICATION:

THE OWNER DEDICATES THE SANITARY SEWER AND/OR WATER MAINS TO THE SAN ANTONIO WATER SYSTEM UPON COMPLETION BY THE DEVELOPER AND ACCEPTANCE BY THE SAN ANTONIO WATER SYSTEM.

SAWS HIGH PRESSURE:

A PORTION OF THE TRACT IS BELOW THE GROUND ELEVATION OF 985 FEET WHERE THE STATIC PRESSURE WILL NORMALLY EXCEED 80 PSI. AT ALL SUCH LOCATIONS, THE OWNER OR BUILDER SHALL INSTALL AT EACH LOT, ON THE CUSTOMER'S SIDE OF THE METER, AN APPROVED TYPE PRESSURE REGULATOR IN CONFORMANCE WITH THE PLUMBING CODE OF THE CITY OF SAN ANTONIO.

FIRE FLOW NOTE:

IN AN EFFORT TO MEET THE CITY OF SAN ANTONIO'S FIRE FLOW REQUIREMENTS FOR THE PROPOSED RESIDENTIAL DEVELOPMENT, THE PUBLIC WATER MAIN SYSTEM HAS BEEN DESIGNED FOR A MINIMUM FIRE FLOW DEMAND OF 1,500 GPM AT 25 PSI RESIDUAL PRESSURE. THE FIRE FLOW REQUIREMENTS FOR INDIVIDUAL STRUCTURES WILL BE REVIEWED DURING THE BUILDING PERMIT PROCESS IN ACCORDANCE WITH THE PROCEDURES SET FORTH BY THE CITY OF SAN ANTONIO DIRECTOR OF PLANNING AND DEVELOPMENT SERVICES AND THE SAN ANTONIO FIRE DEPARTMENT FIRE MARSHAL.

CLEAR VISION:

CLEAR VISION AREAS MUST BE FREE OF VISUAL OBSTRUCTIONS IN ACCORDANCE WITH THE AMERICAN ASSOCIATION OF STATE HIGHWAY AND TRANSPORTATION OFFICIALS (AASHTO) POLICY ON GEOMETRIC DESIGN OF HIGHWAYS AND STREETS, OR LATEST REVISION THEREOF.

RESIDENTIAL FINISHED FLOOR

RESIDENTIAL FINISHED FLOOR ELEVATIONS MUST BE A MINIMUM OF EIGHT (8) INCHES ABOVE FINAL ADJACENT GRADE.

DRAINAGE EASEMENT ENCROACHMENTS:

NO STRUCTURE, FENCES, WALLS OR OTHER OBSTRUCTIONS THAT IMPEDE DRAINAGE SHALL BE PLACED WITHIN THE LIMITS OF THE DRAINAGE EASEMENTS SHOWN ON THIS PLAT. NO LANDSCAPING OR OTHER TYPE OF MODIFICATIONS, WHICH ALTER THE CROSS-SECTIONS OF THE DRAINAGE EASEMENTS, AS APPROVED, SHALL BE ALLOWED WITHOUT THE APPROVAL OF THE DIRECTOR OF TCI OR DIRECTOR OF PUBLIC WORKS. THE CITY OF SAN ANTONIO AND BEXAR COUNTY SHALL HAVE THE RIGHT OF INGRESS AND EGRESS OVER THE GRANTOR'S ADJACENT PROPERTY TO REMOVE ANY IMPEDING OBSTRUCTIONS PLACED WITHIN THE LIMITS OF SAID DRAINAGE EASEMENT AND TO MAKE ANY MODIFICATIONS OR IMPROVEMENTS WITHIN SAID DRAINAGE EASEMENTS.

CLOMRS WITH FEMA APPROVAL:

THE 1% ANNUAL CHANCE (100-YEAR) FLOODPLAIN LIMITS SHOWN ON THIS PLAT WERE DELINEATED BASED UPON A CONDITIONAL LETTER OF MAP REVISION (CLOMR) STUDY PREPARED BY PAPE-DAWSON ENGINEERS AND APPROVED BY FEMA ON AUGUST 21, 2020 (CASE NO. 20-06-1003R). FLOODPLAIN INFORMATION IS SUBJECT TO CHANGE AS A RESULT OF FUTURE FEMA MAP REVISIONS AND/OR AMENDMENTS.

FLOODPLAIN VERIFICATION:

NO PORTION OF THE FEMA 1% ANNUAL CHANCE (100-YEAR) FLOODPLAIN EXISTS WITHIN THIS PLAT AS VERIFIED BY FEMA MAP PANEL: 48029C0195G, EFFECTIVE DATE 09/29/2010. FLOODPLAIN INFORMATION IS SUBJECT TO CHANGE AS A RESULT OF FUTURE FEMA MAP REVISIONS AND/OR AMENDMENTS.

OPEN SPACE NOTE:

LOT 900 AND 901 BLOCK 30, CB 4408, AND LOT 900, BLOCK 42, CB 4408 ARE DESIGNATED AS OPEN SPACE PERMEABLE AND AS A COMMON AREA, GAS, ELECTRIC, TELEPHONE, CABLE TV, DRAINAGE AND MAINTENANCE ACCESS EASEMENT.

STORM WATER DETENTION

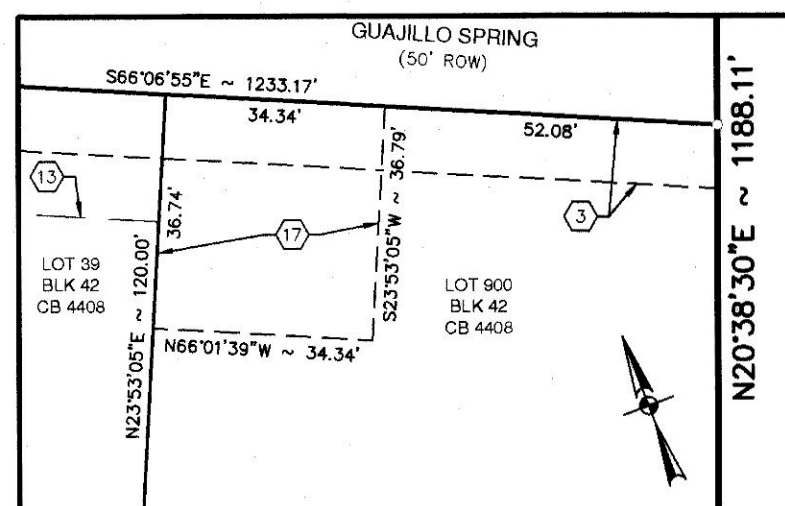
STORM WATER DETENTION IS REQUIRED FOR THIS PROPERTY AND IS ACCOUNTED FOR IN AN OFFSITE DETENTION POND LOCATED IN LOT 901, BLOCK 15, CB 4408, WESTPOINTE NORTH UNIT 1A, RECORDED IN VOLUME 20001, PAGE 2021-2026 P.R., (PLAT # 19-1180004).

COUNTY FINISHED FLOOR ELEVATION

FINISHED FLOOR ELEVATIONS FOR STRUCTURES ON LOTS 18, 19, 20, AND 21 BLOCK 30, CONTAINING FLOODPLAIN OR ADJACENT TO THE FLOODPLAIN SHALL BE IN COMPLIANCE WITH THE FLOODPLAIN REGULATION IN EFFECT AT TIME OF CONSTRUCTION. CONTACT BEXAR COUNTY PUBLIC WORKS FOR MORE INFORMATION.

RESIDENTIAL FINISHED FLOOR ELEVATION

RESIDENTIAL STRUCTURES ARE NOT ALLOWED WITHIN THE CITY OF SAN ANTONIO ULTIMATE DEVELOPMENT FLOODPLAIN. FINISHED FLOOR ELEVATIONS FOR RESIDENTIAL STRUCTURES SHALL BE NO LESS THAN ONE FOOT ABOVE THE BASE FLOOD ELEVATION OF THE REGULATORY FLOODPLAIN (CITY OF SAN ANTONIO ULTIMATE DEVELOPMENT FLOODPLAIN). THE LOWEST ADJACENT GRADE SHALL BE AT OR ABOVE THE BASE FLOOD ELEVATION. PRE-CONSTRUCTION ELEVATION CERTIFICATES MAY BE REQUIRED PRIOR TO PERMIT APPROVAL, AND POST-CONSTRUCTION ELEVATION CERTIFICATES MAY BE REQUIRED PRIOR TO OCCUPANCY OF RESIDENTIAL BUILDINGS, AS DETERMINED BY THE FLOODPLAIN ADMINISTRATOR OF THE CITY OF SAN ANTONIO.

DETAIL "G"
SCALE: 1"=30'
SHEET 2 OF 3PLAT NOTES APPLY TO EVERY PAGE
OF THIS MULTIPLE PAGE PLAT

SHEET 3 OF 3

