

LOCATION MAP
NOT-TO-SCALE

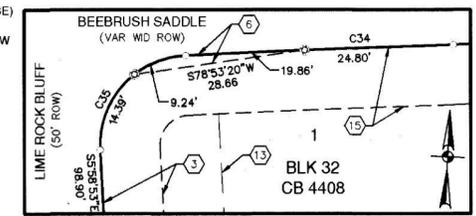
LEGEND

AC	ACRE(S)	LF	LINEAR FEET
BLK	BLOCK	VAR WID	VARIABLE WIDTH
CB	COUNTY BLOCK	VOL	VOLUME
DOC	DOCUMENT NUMBER	PG	PAGE(S)
PR	PLAT RECORDS OF BEXAR COUNTY, TEXAS	ROW	RIGHT-OF-WAY
GETCTV	GAS, ELECTRIC, TELEPHONE AND CABLE TELEVISION (SURVEYOR)	●	FOUND 1/2" IRON ROD (UNLESS NOTED OTHERWISE)
INT	INTERSECTION	○	SET 1/2" IRON ROD (PD)
DR	DEED RECORDS OF BEXAR COUNTY, TEXAS	○	SET 1/2" IRON ROD (PD)-ROW
OPR	OFFICIAL PUBLIC RECORDS (OFFICIAL PUBLIC RECORDS OF REAL PROPERTY) OF BEXAR COUNTY, TEXAS	⊠	FOUND TxDOT MONUMENTATION
		⊠	FOUND MONUMENTATION
		⊠	EASEMENT POINT OF INTERSECTION
---	EXISTING CONTOURS	---	VARIABLE WIDTH WATER EASEMENT
---	PROPOSED CONTOURS	---	VARIABLE WIDTH TURNAROUND EASEMENT
---	CENTERLINE		
---	CITY OF SAN ANTONIO CITY LIMITS		
①	14' GETCTV EASEMENT	④	VARIABLE WIDTH DRAINAGE EASEMENT (VOL 20002 PGS 1233-1236 PR)
②	10' GETCTV EASEMENT	⑤	10' WATER EASEMENT (VOL 20002 PGS 1487-1491 PR)
③	1' VEHICULAR NON-ACCESS EASEMENT (NOT-TO-SCALE)	⑥	VARIABLE WIDTH SANITARY SEWER EASEMENT (VOL 20002 PGS 1487-1491 PR)
④	VARIABLE WIDTH CLEAR VISION EASEMENT	⑦	14' GETCTV EASEMENT (VOL 20002 PGS 1487-1491 PR)
⑤	16' SANITARY SEWER EASEMENT	⑧	5' GETCTV EASEMENT (VOL 20002 PGS 1487-1491 PR)
⑥	16' WATER EASEMENT	⑨	1' VEHICULAR NON-ACCESS EASEMENT (VOL 20002 PGS 1487-1491 PR)
⑦	5' WATER EASEMENT	⑩	VARIABLE WIDTH CLEAR VISION EASEMENT (PLAT #21-11800378)
⑧	15' GETCTV EASEMENT	⑪	1% ANNUAL CHANGE (100-YR) PROPOSED ULTIMATE DEVELOPMENT FLOODPLAIN (ATLAS 14) PER FLOOD STUDY BY PAPE-DAWSON ENGINEERS, INC.
⑨	20' BUILDING SETBACK LINE		
⑩	16' DRAINAGE EASEMENT		
⑪	10' BUILDING SETBACK LINE AND GETCTV EASEMENT		
⑫	1% ANNUAL CHANGE (100-YR) PROPOSED ULTIMATE DEVELOPMENT FLOODPLAIN PER CLOMR BY PAPE-DAWSON ENGINEERS, INC.		

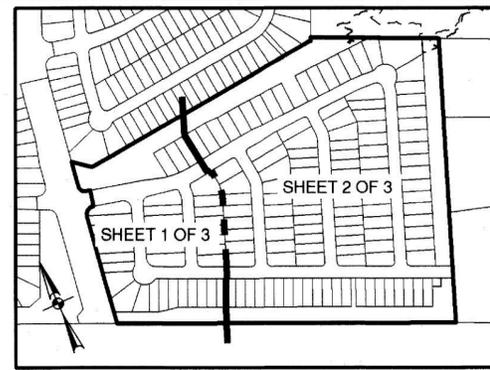
CPS/SAWS/COSA UTILITY:
 1. THE CITY OF SAN ANTONIO AS PART OF ITS ELECTRIC, GAS, WATER, AND WASTEWATER SYSTEMS - CITY PUBLIC SERVICE BOARD (CPS ENERGY) AND SAN ANTONIO WATER SYSTEM (SAWS) IS HEREBY DEDICATING EASEMENTS AND RIGHTS-OF-WAY FOR UTILITY, TRANSMISSION AND DISTRIBUTION INFRASTRUCTURE AND SERVICE FACILITIES IN THE AREAS DESIGNATED ON THIS PLAT AS "ELECTRIC EASEMENT," "ANCHOR EASEMENT," "SERVICE EASEMENT," "OVERHANG EASEMENT," "UTILITY EASEMENT," "GAS EASEMENT," "TRANSFORMER EASEMENT," "WATER EASEMENT," "SANITARY SEWER EASEMENT" AND/OR "RECYCLED WATER EASEMENT" FOR THE PURPOSE OF INSTALLING, CONSTRUCTING, RECONSTRUCTING, MAINTAINING, REMOVING, INSPECTING, PATROLLING, AND ERECTING UTILITY INFRASTRUCTURE AND SERVICE FACILITIES FOR THE REASONS DESCRIBED ABOVE. CPS ENERGY AND SAWS SHALL ALSO HAVE THE RIGHT TO RELOCATE SAID INFRASTRUCTURE AND SERVICE FACILITIES WITHIN EASEMENT AND RIGHT-OF-WAY AREAS, TOGETHER WITH THE RIGHT OF INGRESS AND EGRESS OVER GRANTOR'S ADJACENT LANDS FOR THE PURPOSE OF ACCESSING SUCH INFRASTRUCTURE AND SERVICE FACILITIES AND THE RIGHT TO REMOVE FROM SAID LANDS ALL TREES OR PARTS THEREOF OR OTHER OBSTRUCTIONS WHICH ENDANGER OR MAY INTERFERE WITH THE EFFICIENCY OF WATER, SEWER, GAS, AND/OR ELECTRIC INFRASTRUCTURE AND SERVICE FACILITIES. NO BUILDING, STRUCTURE, CONCRETE SLABS, OR WALLS WILL BE PLACED WITHIN EASEMENT AREAS WITHOUT AN ENCROACHMENT AGREEMENT WITH THE RESPECTIVE UTILITY. 2. ANY CPS ENERGY OR SAWS MONETARY LOSS RESULTING FROM MODIFICATIONS REQUIRED OF CPS ENERGY OR SAWS INFRASTRUCTURE AND SERVICE FACILITIES, LOCATED WITHIN SAID EASEMENTS, DUE TO GRADE CHANGES OR GROUND ELEVATION ALTERATIONS SHALL BE CHARGED TO THE PERSON OR PERSONS DEEMED RESPONSIBLE FOR SAID GRADE CHANGES OR GROUND ELEVATION ALTERATIONS. 3. THIS PLAT DOES NOT AMEND, ALTER, RELEASE OR OTHERWISE AFFECT ANY EXISTING ELECTRIC, GAS, WATER, SEWER, DRAINAGE, TELEPHONE, CABLE TV EASEMENTS OR ANY OTHER EASEMENTS FOR UTILITIES UNLESS THE CHANGES TO SUCH EASEMENTS ARE DESCRIBED HEREON. 4. CONCRETE DRIVEWAY APPROACHES ARE ALLOWED WITHIN THE FIVE (5) AND TEN (10) FOOT WIDE ELECTRIC AND GAS EASEMENTS WHEN LOTS ARE SERVED ONLY BY UNDERGROUND ELECTRIC AND GAS FACILITIES. 5. ROOF OVERHANGS ARE ALLOWED WITHIN THE FIVE (5) AND TEN (10) FOOT WIDE ELECTRIC AND GAS EASEMENTS WHEN ONLY UNDERGROUND ELECTRIC AND GAS FACILITIES ARE PROPOSED OR EXISTING WITHIN THOSE FIVE (5) AND TEN (10) FOOT WIDE EASEMENTS.

SAWS IMPACT FEE:
 WATER AND/OR WASTEWATER IMPACT FEES WERE NOT PAID AT THE TIME OF PLATTING FOR THIS PLAT. ALL IMPACT FEES MUST BE PAID PRIOR TO WATER METER SET AND/OR WASTEWATER SERVICE CONNECTION.

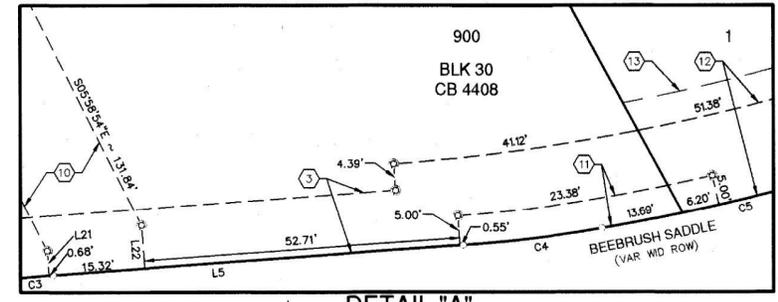
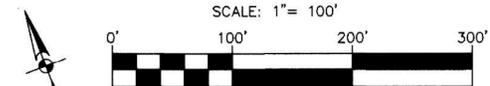
SAWS WASTEWATER EDU:
 THE NUMBER OF WASTEWATER EQUIVALENT DWELLING UNITS (EDU'S) PAID FOR THIS SUBDIVISION PLAT ARE KEPT ON FILE UNDER THE PLAT NUMBER AT THE SAN ANTONIO WATER SYSTEM.



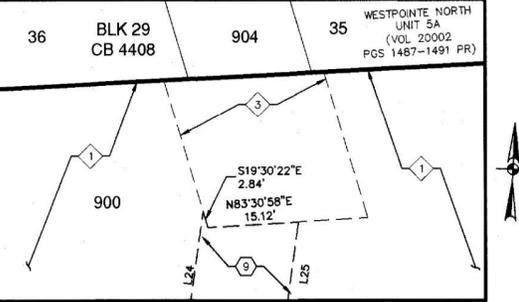
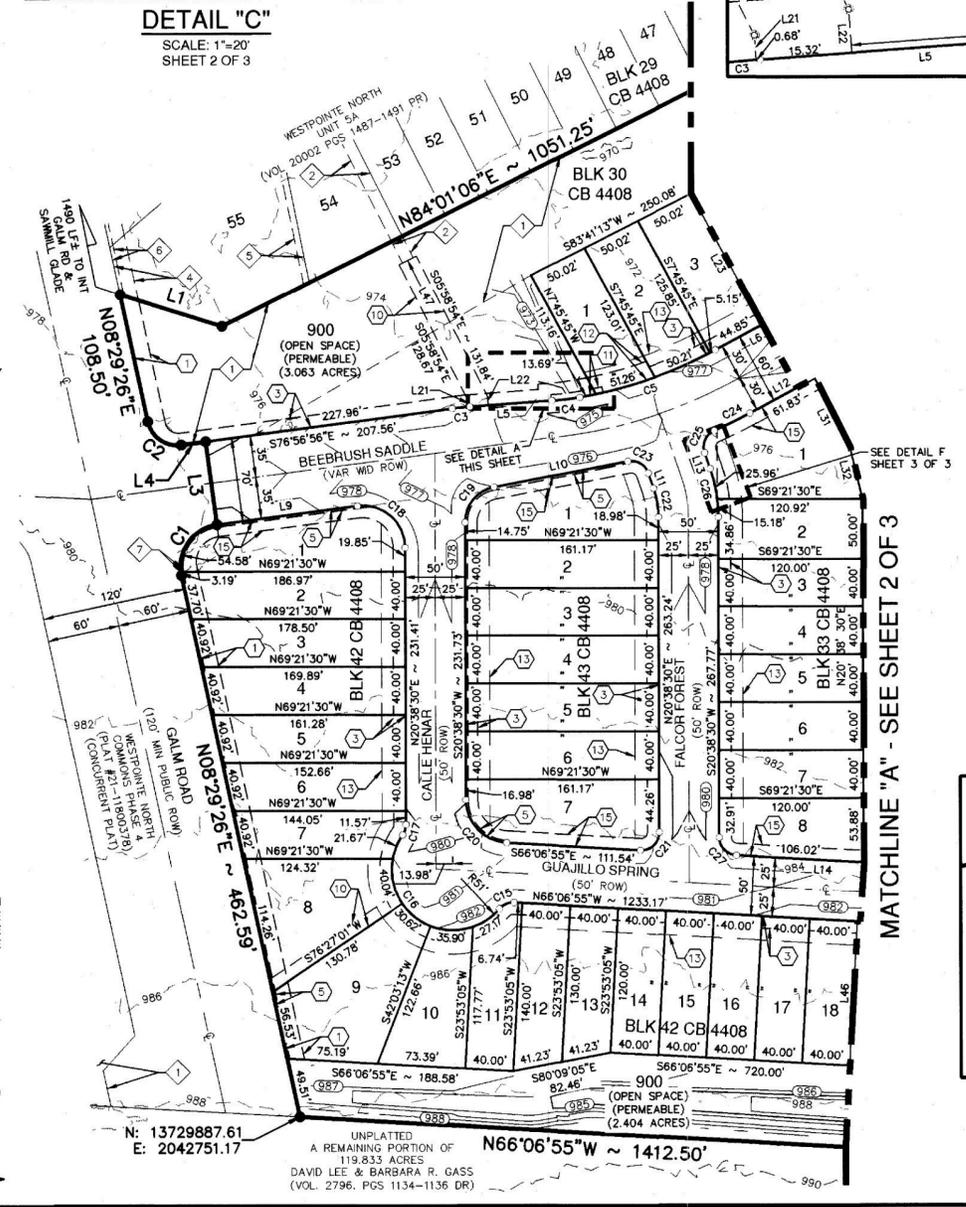
DETAIL "C"
SCALE: 1"=20'
SHEET 2 OF 3



INDEX MAP
SCALE: 1"= 500'



DETAIL "A"
SCALE: 1"=20'
THIS SHEET



DETAIL "B"
SCALE: 1"=20'
SHEET 2 OF 3

PLAT NOTES APPLY TO EVERY PAGE OF THIS MULTIPLE PAGE PLAT

SHEET 1 OF 3

PLAT NO. 21-11800366
 SUBDIVISION PLAT
 OF
 WESTPOINTE NORTH
 UNIT 5B & 5C

BEING A TOTAL OF 34.471 ACRE TRACT OF LAND, ESTABLISHING LOTS 1-36, 900, AND 901, BLOCK 30, LOTS 1-31, BLOCK 31, LOTS 1-24 BLOCK 32, LOTS 1-16, BLOCK 33, LOTS 1-39, AND 900, BLOCK 42, AND LOTS 1-7, BLOCK 43, AND A 6.392 ACRE RIGHT-OF-WAY, COMPRISED OF 34.414 ACRES OUT OF A 34.49 ACRE TRACT OF LAND RECORDED IN DOCUMENT NUMBER 20220048468, AND 0.057 ACRES OUT OF A 22.882 ACRE TRACT OF LAND RECORDED IN DOCUMENT NUMBER 20210082215, ALL OF THE OFFICIAL PUBLIC RECORDS OF BEXAR COUNTY, TEXAS, OUT OF THE LOUIS GONZALEZ SURVEY 84, ABSTRACT 253, COUNTY BLOCK 4408, IN BEXAR COUNTY, TEXAS.



SAN ANTONIO | AUSTIN | HOUSTON | FORT WORTH | DALLAS
 2000 NW LOOP 410 | SAN ANTONIO, TX 78213 | 210.375.9000
 TSPE FIRM REGISTRATION #470 | TBPLS FIRM REGISTRATION #10028600
 DATE OF PREPARATION: April 12, 2022

STATE OF TEXAS
 COUNTY OF BEXAR

THE OWNER OF LAND SHOWN ON THIS PLAT, IN PERSON OR THROUGH A DULY AUTHORIZED AGENT, DEDICATES TO THE USE OF THE PUBLIC, EXCEPT AREAS IDENTIFIED AS PRIVATE OR PART OF AN ENCLAVE OR PLANNED UNIT DEVELOPMENT, FOREVER ALL STREETS, ALLEYS, PARKS, WATERCOURSES, DRAINS, EASEMENTS AND PUBLIC PLACES THEREON SHOWN FOR THE PURPOSE AND CONSIDERATION THEREIN EXPRESSED.

OWNER/DEVELOPER: PAUL POWELL
 HDC OLD CULEBRA, LLC
 100 NE LOOP 410, STE 1080
 SAN ANTONIO, TEXAS 78216
 (210) 838-6784

STATE OF TEXAS
 COUNTY OF BEXAR

BEFORE ME, THE UNDERSIGNED AUTHORITY ON THIS DAY PERSONALLY APPEARED PAUL POWELL, KNOWN TO ME TO BE THE PERSON WHOSE NAME IS SUBSCRIBED TO THE FOREGOING INSTRUMENT, AND ACKNOWLEDGED TO ME THAT HE EXECUTED THE SAME FOR THE PURPOSES AND CONSIDERATIONS THEREIN EXPRESSED AND IN THE CAPACITY THEREIN STATED. GIVEN UNDER MY HAND AND SEAL OF OFFICE THIS 12th DAY OF April, A.D. 2022.

NOTARY PUBLIC, BEXAR COUNTY, TEXAS

THIS PLAT OF WESTPOINTE NORTH UNIT 5B & 5C HAS BEEN SUBMITTED TO AND CONSIDERED BY THE PLANNING COMMISSION OF THE CITY OF SAN ANTONIO, TEXAS, IS HEREBY APPROVED BY SUCH COMMISSION IN ACCORDANCE WITH STATE OR LOCAL LAWS AND REGULATIONS, AND/OR WHERE ADMINISTRATIVE EXCEPTION(S) AND/OR VARIANCE(S) HAVE BEEN GRANTED.

DATED THIS _____ DAY OF _____, A.D. 20__

BY: _____ CHAIRMAN

BY: _____ SECRETARY

CERTIFICATE OF APPROVAL
 THE UNDERSIGNED, COUNTY JUDGE OF BEXAR COUNTY, TEXAS AND PRESIDING OFFICER OF THE COMMISSIONERS COURT OF BEXAR COUNTY, DOES HEREBY CERTIFY THAT THE ATTACHED PLAT WAS DULY FILED WITH THE COMMISSIONERS COURT OF BEXAR COUNTY, TEXAS AND THAT AFTER EXAMINATION IT APPEARED THAT SAID PLAT IS IN CONFORMITY WITH THE STATUTES, RULES AND REGULATIONS GOVERNING SAME AND THIS PLAT WAS APPROVED BY THE SAID COMMISSIONERS COURT.

DATED THIS _____ DAY OF _____, A.D. 20__

COUNTY JUDGE, BEXAR COUNTY, TEXAS

COUNTY CLERK, BEXAR COUNTY, TEXAS

STATE OF TEXAS
 COUNTY OF BEXAR

I HEREBY CERTIFY THAT PROPER ENGINEERING CONSIDERATION HAS BEEN GIVEN THIS PLAT TO THE MATTERS OF STREETS, LOTS AND DRAINAGE LAYOUT. TO THE BEST OF MY KNOWLEDGE THIS PLAT CONFORMS TO ALL REQUIREMENTS OF THE UNIFIED DEVELOPMENT CODE, EXCEPT FOR THOSE VARIANCES GRANTED BY THE SAN ANTONIO PLANNING COMMISSION.

STATE OF TEXAS
 COUNTY OF BEXAR

I HEREBY CERTIFY THAT THE ABOVE PLAT CONFORMS TO THE MINIMUM STANDARDS SET FORTH BY THE TEXAS BOARD OF PROFESSIONAL ENGINEERS AND LAND SURVEYORS ACCORDING TO AN ACTUAL SURVEY MADE ON THE GROUND BY: PAPE-DAWSON ENGINEERS, INC.

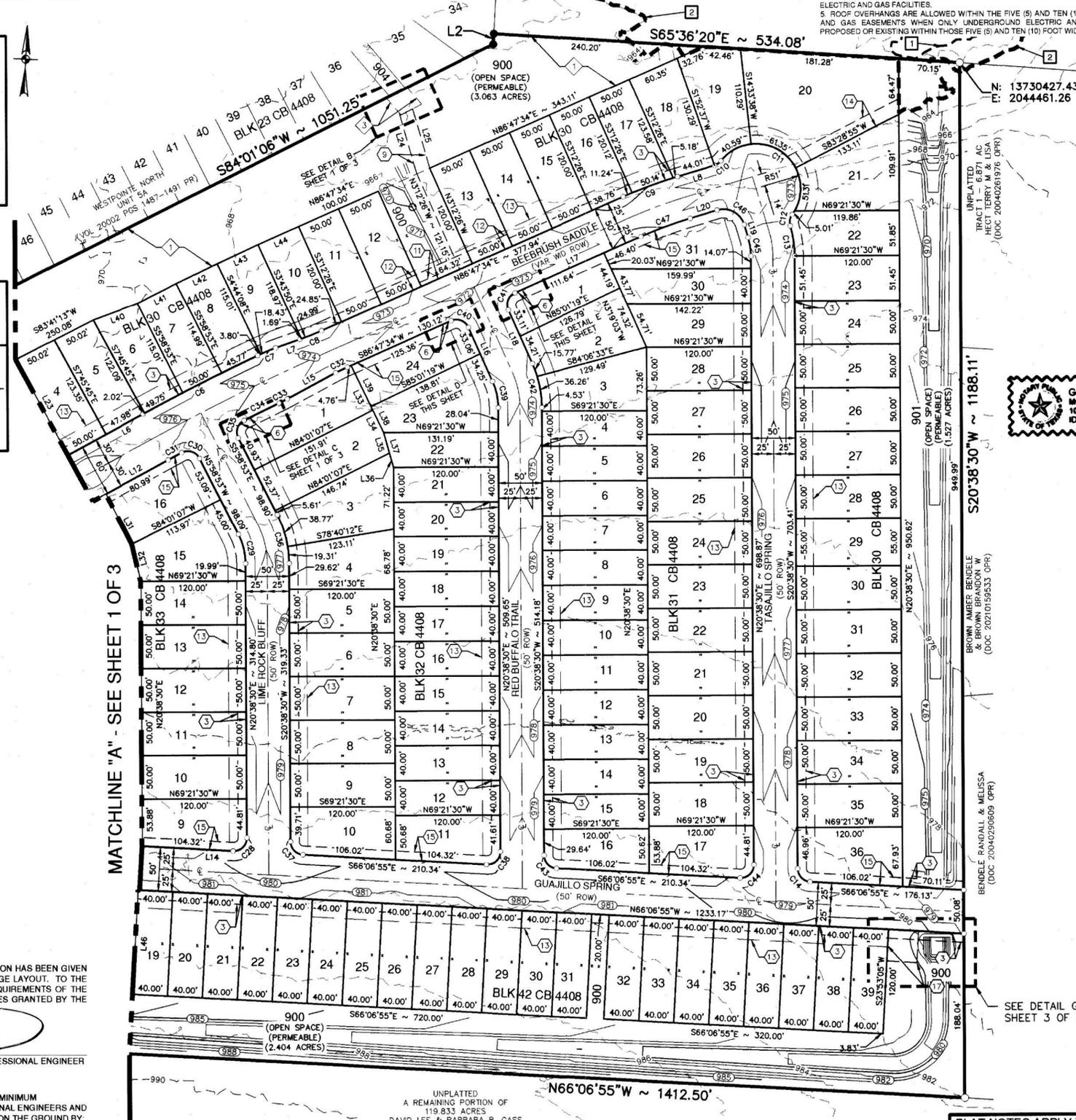
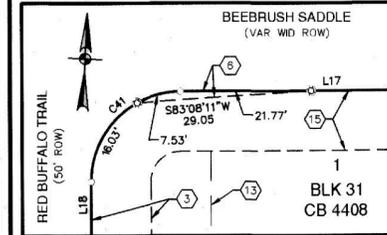
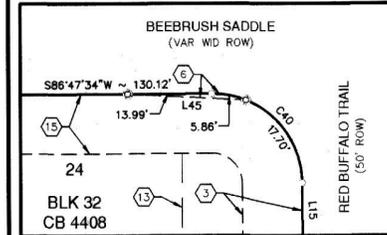
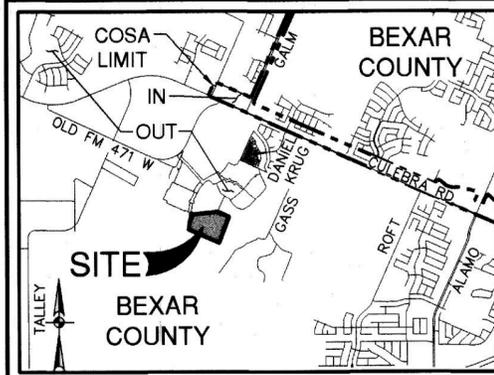
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UNPLATTED
 A REMAINING PORTION OF
 119.833 ACRES
 DAVID LEE & BARBARA R. GASS
 (VOL. 2796, PGS 1134-1136 DR)



J. Buchanan 04/13/2022
 REGISTERED PROFESSIONAL LAND SURVEYOR

WESTPOINTE NORTH UNIT 5B & 5C
 Civil Job No. 11144-49; Survey Job No. 11144-53



SAWS IMPACT FEE:
WATER AND/OR WASTEWATER IMPACT FEES WERE NOT PAID AT THE TIME OF PLATTING FOR THIS PLAT. ALL IMPACT FEES MUST BE PAID PRIOR TO WATER METER SET AND/OR WASTEWATER SERVICE CONNECTION.

SAWS WASTEWATER EDU:
THE NUMBER OF WASTEWATER EQUIVALENT DWELLING UNITS (EDU'S) PAID FOR THIS SUBDIVISION PLAT ARE KEPT ON FILE UNDER THE PLAT NUMBER AT THE SAN ANTONIO WATER SYSTEM.

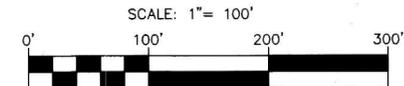
CPS/SAWS/COSA UTILITY:
1. THE CITY OF SAN ANTONIO AS PART OF ITS ELECTRIC, GAS, WATER, AND WASTEWATER SYSTEMS... CITY PUBLIC SERVICE BOARD (CPS ENERGY) AND SAN ANTONIO WATER SYSTEM... IS HEREBY DEDICATED EASEMENTS AND RIGHTS-OF-WAY FOR UTILITY, TRANSMISSION AND DISTRIBUTION INFRASTRUCTURE AND SERVICE FACILITIES IN THE AREAS DESIGNATED ON THIS PLAT AS "ELECTRIC EASEMENT," "ANCHOR EASEMENT," "SERVICE EASEMENT," "OVERHANG EASEMENT," "UTILITY EASEMENT," "GAS EASEMENT," "TRANSFORMER EASEMENT," "WATER EASEMENT," "SANITARY SEWER EASEMENT" AND/OR "RECYCLED WATER EASEMENT" FOR THE PURPOSE OF INSTALLING, CONSTRUCTING, RECONSTRUCTING, MAINTAINING, REMOVING, INSPECTING, PATROLLING, AND ERECTING UTILITY INFRASTRUCTURE AND SERVICE FACILITIES FOR THE REASONS DESCRIBED ABOVE. CPS ENERGY AND SAWS SHALL ALSO HAVE THE RIGHT TO RELOCATE SAID INFRASTRUCTURE AND SERVICE FACILITIES WITHIN EASEMENT AND RIGHT-OF-WAY AREAS, TOGETHER WITH THE RIGHT OF INGRESS AND EGRESS OVER GRANTOR'S ADJACENT LANDS FOR THE PURPOSE OF ACCESSING SUCH INFRASTRUCTURE AND SERVICE FACILITIES AND THE RIGHT TO REMOVE FROM SAID LANDS ALL TREES OR PARTS THEREOF, OR OTHER OBSTRUCTIONS WHICH ENDANGER OR MAY INTERFERE WITH THE EFFICIENCY OF WATER, SEWER, GAS, AND/OR ELECTRIC INFRASTRUCTURE AND SERVICE FACILITIES. NO BUILDING, STRUCTURE, CONCRETE SLABS, OR WALLS WILL BE PLACED WITHIN EASEMENT AREAS WITHOUT AN ENCROACHMENT AGREEMENT WITH THE RESPECTIVE UTILITY.

2. ANY CPS ENERGY OR SAWS MONETARY LOSS RESULTING FROM MODIFICATIONS REQUIRED OF CPS ENERGY OR SAWS INFRASTRUCTURE AND SERVICE FACILITIES, LOCATED WITHIN SAID EASEMENTS, DUE TO GRADE CHANGES OR GROUND ELEVATION ALTERATIONS SHALL BE CHARGED TO THE PERSON OR PERSONS DEEMED RESPONSIBLE FOR SAID GRADE CHANGES OR GROUND ELEVATION ALTERATIONS.

3. THIS PLAT DOES NOT AMEND, ALTER, RELEASE OR OTHERWISE AFFECT ANY EXISTING ELECTRIC, GAS, WATER, SEWER, DRAINAGE, TELEPHONE, CABLE TV EASEMENTS OR ANY OTHER EASEMENTS FOR UTILITIES UNLESS THE CHANGES TO SUCH EASEMENTS ARE DESCRIBED HEREON.

4. CONCRETE DRIVEWAY APPROACHES ARE ALLOWED WITHIN THE FIVE (5) AND TEN (10) FOOT WIDE ELECTRIC AND GAS EASEMENTS WHEN LOTS ARE SERVED ONLY BY UNDERGROUND ELECTRIC AND GAS FACILITIES.

5. ROOF OVERHANGS ARE ALLOWED WITHIN THE FIVE (5) AND TEN (10) FOOT WIDE ELECTRIC AND GAS EASEMENTS WHEN ONLY UNDERGROUND ELECTRIC AND GAS FACILITIES ARE PROPOSED OR EXISTING WITHIN THOSE FIVE (5) AND TEN (10) FOOT WIDE EASEMENTS.



UNPLATTED REMAINING PORTION OF 263.961 ACRES NATIONAL SKEET SHOOTING ASSOCIATION (VOL. 9290, PGS 232-240 OPR)



PLAT NO. 21-11800366
SUBDIVISION PLAT
OF
WESTPOINTE NORTH
UNIT 5B & 5C

BEING A TOTAL OF 34.471 ACRE TRACT OF LAND, ESTABLISHING LOTS 1-36, 900, AND 901, BLOCK 30, LOTS 1-31, BLOCK 31, LOTS 1-24 BLOCK 32, LOTS 1-16, BLOCK 33, LOTS 1-39, AND 900, BLOCK 42, AND LOTS 1-7, BLOCK 43, AND A 6.392 ACRE RIGHT-OF-WAY, COMPRISED OF 34.414 ACRES OUT OF A 34.49 ACRE TRACT OF LAND RECORDED IN DOCUMENT NUMBER 20220048468, AND 0.057 ACRES OUT OF A 22.882 ACRE TRACT OF LAND RECORDED IN DOCUMENT NUMBER 20210082215, ALL OF THE OFFICIAL PUBLIC RECORDS OF BEXAR COUNTY, TEXAS, OUT OF THE LOUIS GONZABA SURVEY 84, ABSTRACT 253, COUNTY BLOCK 4408, IN BEXAR COUNTY, TEXAS.



SAN ANTONIO | AUSTIN | HOUSTON | FORT WORTH | DALLAS
2000 NW LOOP 410 | SAN ANTONIO, TX 78213 | 210.375.9000
TBPE FIRM REGISTRATION #470 | TBPLS FIRM REGISTRATION #10028800
DATE OF PREPARATION: April 12, 2022

STATE OF TEXAS
COUNTY OF BEXAR

THE OWNER OF LAND SHOWN ON THIS PLAT, IN PERSON OR THROUGH A DULY AUTHORIZED AGENT, DEDICATES TO THE USE OF THE PUBLIC, EXCEPT AREAS IDENTIFIED AS PRIVATE OR PART OF AN ENCLAVE OR PLANNED UNIT DEVELOPMENT, FOREVER ALL STREETS, ALLEYS, PARKS, WATERCOURSES, DRAINS, EASEMENTS AND PUBLIC PLACES THEREON SHOWN FOR THE PURPOSE AND CONSIDERATION THEREIN EXPRESSED.

OWNER/DEVELOPER: PAUL POWELL
HDC OLD CULEBRA, LLC
100 NE LOOP 410, STE 1080
SAN ANTONIO, TEXAS 78216
(210) 838-6784

STATE OF TEXAS
COUNTY OF BEXAR

BEFORE ME, THE UNDERSIGNED AUTHORITY ON THIS DAY PERSONALLY APPEARED PAUL POWELL KNOWN TO ME TO BE THE PERSON WHOSE NAME IS SUBSCRIBED TO THE FOREGOING INSTRUMENT, AND ACKNOWLEDGED TO ME THAT HE EXECUTED THE SAME FOR THE PURPOSES AND CONSIDERATIONS THEREIN EXPRESSED AND IN THE CAPACITY THEREIN STATED. GIVEN UNDER MY HAND AND SEAL OF OFFICE THIS _____ DAY OF _____, A.D. 20__.

NOTARY PUBLIC, BEXAR COUNTY, TEXAS

THIS PLAT OF WESTPOINTE NORTH UNIT 5B & 5C, HAS BEEN SUBMITTED TO AND CONSIDERED BY THE PLANNING COMMISSION OF THE CITY OF SAN ANTONIO, TEXAS, IS HEREBY APPROVED BY SUCH COMMISSION IN ACCORDANCE WITH STATE OR LOCAL LAWS AND REGULATIONS; AND/OR WHERE ADMINISTRATIVE EXCEPTION(S) AND/OR VARIANCE(S) HAVE BEEN GRANTED.

DATED THIS _____ DAY OF _____, A.D. 20__

BY: _____ CHAIRMAN

BY: _____ SECRETARY

CERTIFICATE OF APPROVAL

THE UNDERSIGNED, COUNTY JUDGE OF BEXAR COUNTY, TEXAS AND PRESIDING OFFICER OF THE COMMISSIONERS COURT OF BEXAR COUNTY, DOES HEREBY CERTIFY THAT THE ATTACHED PLAT WAS DULY FILED WITH THE COMMISSIONERS COURT OF BEXAR COUNTY, TEXAS AND THAT AFTER EXAMINATION IT APPEARED THAT SAID PLAT IS IN CONFORMITY WITH THE STATUTES, RULES AND REGULATIONS GOVERNING SAME AND THIS PLAT WAS APPROVED BY THE SAID COMMISSIONERS COURT.

DATED THIS _____ DAY OF _____, A.D. 20__

COUNTY JUDGE, BEXAR COUNTY, TEXAS

COUNTY CLERK, BEXAR COUNTY, TEXAS

STATE OF TEXAS
COUNTY OF BEXAR

I HEREBY CERTIFY THAT PROPER ENGINEERING CONSIDERATION HAS BEEN GIVEN THIS PLAT TO THE MATTERS OF STREETS, LOTS AND DRAINAGE LAYOUT. TO THE BEST OF MY KNOWLEDGE THIS PLAT CONFORMS TO ALL REQUIREMENTS OF THE UNIFIED DEVELOPMENT CODE, EXCEPT FOR THOSE VARIANCES GRANTED BY THE SAN ANTONIO PLANNING COMMISSION.

STATE OF TEXAS
COUNTY OF BEXAR

I HEREBY CERTIFY THAT THE ABOVE PLAT CONFORMS TO THE MINIMUM STANDARDS SET FORTH BY THE TEXAS BOARD OF PROFESSIONAL ENGINEERS AND LAND SURVEYORS ACCORDING TO AN ACTUAL SURVEY MADE ON THE GROUND BY PAPE-DAWSON ENGINEERS, INC.

J. Buchanan 04/13/2022
REGISTERED PROFESSIONAL LAND SURVEYOR



PLAT NOTES APPLY TO EVERY PAGE OF THIS MULTIPLE PAGE PLAT

WESTPOINTE NORTH UNIT 5B & 5C Civil Job No. 11144-49; Survey Job No. 11144-53

SUBDIVISION PLAT OF WESTPOINTE NORTH UNIT 5B & 5C

BEING A TOTAL OF 34.471 ACRE TRACT OF LAND, ESTABLISHING LOTS 1-36, 900, AND 901, BLOCK 30, LOTS 1-31, BLOCK 31, LOTS 1-24 BLOCK 32, LOTS 1-16, BLOCK 33, LOTS 1-39, AND 900, BLOCK 42, AND LOTS 1-7, BLOCK 43, AND A 6.392 ACRE RIGHT-OF-WAY, COMPRISED OF 34.414 ACRES OUT OF A 34.49 ACRES TRACT OF LAND RECORDED IN DOCUMENT NUMBER 20220048468, AND 0.057 ACRES OUT OF A 22.882 ACRE TRACT OF LAND RECORDED IN DOCUMENT NUMBER 20210082215, ALL OF THE OFFICIAL PUBLIC RECORDS OF BEXAR COUNTY, TEXAS, OUT OF THE LOUIS GONZALES SURVEY 84, ABSTRACT 253, COUNTY BLOCK 4408, IN BEXAR COUNTY, TEXAS.



SAN ANTONIO | AUSTIN | HOUSTON | FORT WORTH | DALLAS 2000 NW LOOP 410 | SAN ANTONIO, TX 78213 | 210.375.9000

DATE OF PREPARATION: April 12, 2022

STATE OF TEXAS COUNTY OF BEXAR

THE OWNER OF LAND SHOWN ON THIS PLAT, IN PERSON OR THROUGH A DULY AUTHORIZED AGENT, DEDICATES TO THE USE OF THE PUBLIC, EXCEPT AREAS IDENTIFIED AS PRIVATE OR PART OF AN ENCLAVE OR PLANNED UNIT DEVELOPMENT, FOREVER ALL STREETS, ALLEYS, PARKS, WATERCOURSES, DRAINS, EASEMENTS AND PUBLIC PLACES THEREON SHOWN FOR THE PURPOSE AND CONSIDERATION THEREIN EXPRESSED.

OWNER/DEVELOPER: PAUL POWELL HDC OLD CULEBRA, LLC 100 NE LOOP 410, STE 1080 SAN ANTONIO, TEXAS 78216 (210) 838-6784

STATE OF TEXAS COUNTY OF BEXAR

BEFORE ME, THE UNDERSIGNED AUTHORITY ON THIS DAY PERSONALLY APPEARED PAUL POWELL KNOWN TO ME TO BE THE PERSON WHOSE NAME IS SUBSCRIBED TO THE FOREGOING INSTRUMENT, AND ACKNOWLEDGED TO ME THAT HE EXECUTED THE SAME FOR THE PURPOSES AND CONSIDERATIONS THEREIN EXPRESSED AND IN THE CAPACITY THEREIN STATED, GIVEN UNDER MY HAND AND SEAL OF OFFICE THIS 14th DAY OF April, A.D. 2022

NOTARY PUBLIC, BEXAR COUNTY, TEXAS

THIS PLAT OF WESTPOINTE NORTH UNIT 5B & 5C HAS BEEN SUBMITTED TO AND CONSIDERED BY THE PLANNING COMMISSION OF THE CITY OF SAN ANTONIO, TEXAS, IS HEREBY APPROVED BY SUCH COMMISSION IN ACCORDANCE WITH STATE OR LOCAL LAWS AND REGULATIONS, AND/OR WHERE ADMINISTRATIVE EXCEPTION(S) AND/OR VARIANCE(S) HAVE BEEN GRANTED.

DATED THIS DAY OF A.D. 20

BY: CHAIRMAN

BY: SECRETARY

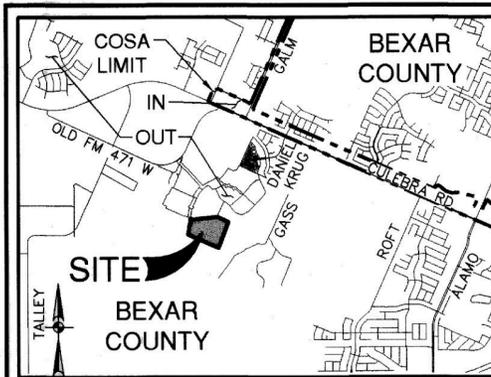
CERTIFICATE OF APPROVAL

THE UNDERSIGNED, COUNTY JUDGE OF BEXAR COUNTY, TEXAS AND PRESIDING OFFICER OF THE COMMISSIONERS COURT OF BEXAR COUNTY, TEXAS, DOES HEREBY CERTIFY THAT THE ATTACHED PLAT WAS DULY FILED WITH THE COMMISSIONERS COURT OF BEXAR COUNTY, TEXAS AND THAT AFTER EXAMINATION IT APPEARED THAT SAID PLAT IS IN CONFORMITY WITH THE STATUTES, RULES AND REGULATIONS GOVERNING SAME, AND THIS PLAT WAS APPROVED BY THE SAID COMMISSIONERS COURT.

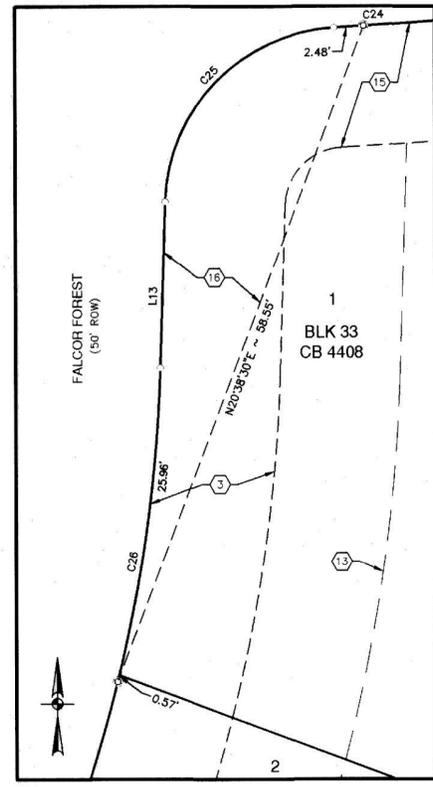
DATED THIS DAY OF A.D. 20

COUNTY JUDGE, BEXAR COUNTY, TEXAS

COUNTY CLERK, BEXAR COUNTY, TEXAS



LOCATION MAP NOT-TO SCALE



DETAIL 'F' SCALE: 1"=10' SHEET 1 OF 3

SURVEYOR'S NOTES:

- 1. MONUMENTS WERE FOUND OR SET AT EACH CORNER OF THE SURVEY BOUNDARY OF THE SUBDIVISION AS NOTED. MONUMENTS AND LOT MARKERS WILL BE SET WITH 3/4" IRON ROD WITH CAP MARKED "PAPE-DAWSON" OR MAG NAIL WITH DISK MARKED "PAPE-DAWSON" AFTER THE COMPLETION OF UTILITY INSTALLATION AND STREET CONSTRUCTION UNLESS NOTED OTHERWISE.
2. COORDINATES SHOWN ARE BASED ON THE NORTH AMERICAN DATUM OF 1983 NAD83 (NA2011) EPOCH 2010.00 FROM THE TEXAS COORDINATE SYSTEM ESTABLISHED FOR THE SOUTH CENTRAL ZONE DISPLAYED IN GRID VALUES DERIVED FROM THE NGS COOPERATIVE CORS NETWORK.
3. DIMENSIONS SHOWN ARE SURFACE.
4. BEARINGS ARE BASED ON THE NORTH AMERICAN DATUM OF 1983 NAD83 (NA2011) EPOCH 2010.00, FROM THE TEXAS COORDINATE SYSTEM ESTABLISHED FOR THE SOUTH CENTRAL ZONE.

STATE OF TEXAS COUNTY OF BEXAR

I HEREBY CERTIFY THAT PROPER ENGINEERING CONSIDERATION HAS BEEN GIVEN THIS PLAT TO THE MATTERS OF STREETS, LOTS AND DRAINAGE LAYOUT, TO THE BEST OF MY KNOWLEDGE THIS PLAT CONFORMS TO ALL REQUIREMENTS OF THE UNIFIED DEVELOPMENT CODE, EXCEPT FOR THOSE VARIANCES GRANTED BY THE SAN ANTONIO PLANNING COMMISSION.

STATE OF TEXAS COUNTY OF BEXAR LICENSED PROFESSIONAL ENGINEER

I HEREBY CERTIFY THAT THE ABOVE PLAT CONFORMS TO THE MINIMUM STANDARDS SET FORTH BY THE TEXAS BOARD OF PROFESSIONAL ENGINEERS AND LAND SURVEYORS ACCORDING TO AN ACTUAL SURVEY MADE ON THE GROUND BY: PAPE-DAWSON ENGINEERS, INC.

Signature of G.E. Buchanan, Registered Professional Land Surveyor, dated 04/13/2022.

CPS/SAWS/COSA UTILITY:

1. THE CITY OF SAN ANTONIO AS PART OF ITS ELECTRIC, GAS, WATER, AND WASTEWATER SYSTEMS... CITY PUBLIC SERVICE BOARD (CPS ENERGY) AND SAN ANTONIO WATER SYSTEM (SAWS)...
2. ANY CPS ENERGY OR SAWS MONETARY LOSS RESULTS FROM MODIFICATIONS REQUIRED OF CPS ENERGY OR SAWS INFRASTRUCTURE AND SERVICE FACILITIES...
3. THIS PLAT DOES NOT AMEND, ALTER, RELEASE OR OTHERWISE AFFECT ANY EXISTING ELECTRIC, GAS, WATER, SEWER, DRAINAGE, TELEPHONE, CABLE TV EASEMENTS OR ANY OTHER EASEMENTS FOR UTILITIES UNLESS THE CHANGES TO SUCH EASEMENTS ARE DESCRIBED HEREIN.
4. CONCRETE DRIVEWAY APPROACHES ARE ALLOWED WITHIN THE FIVE (5) AND TEN (10) FOOT WIDE ELECTRIC AND GAS EASEMENTS WHEN LOTS ARE SERVED ONLY BY UNDERGROUND ELECTRIC AND GAS FACILITIES.
5. ROOF OVERHANGS ARE ALLOWED WITHIN THE FIVE (5) AND TEN (10) FOOT WIDE ELECTRIC AND GAS EASEMENTS WHEN ONLY UNDERGROUND ELECTRIC AND GAS FACILITIES ARE PROPOSED OR EXISTING WITHIN THOSE FIVE (5) AND TEN (10) FOOT WIDE EASEMENTS.

SETBACK:

THE SETBACKS ON THIS PLAT ARE IMPOSED BY THE PROPERTY OWNER OR BEXAR COUNTY AND ARE NOT SUBJECT TO ENFORCEMENT BY THE CITY OF SAN ANTONIO.

COMMON AREA MAINTENANCE:

THE MAINTENANCE OF ALL OPEN SPACE, GREENBELTS, PARKS, TREE SAVE AREAS, INCLUDING LOTS 900 AND 901, BLOCK 30, AND LOT 900, BLOCK 42, CB 4408, DRAINAGE EASEMENTS AND EASEMENTS OF ANY OTHER NATURE WITHIN THIS SUBDIVISION SHALL BE THE RESPONSIBILITY OF THE PROPERTY OWNERS, OR THE PROPERTY OWNERS' ASSOCIATION, OR ITS SUCCESSORS OR ASSIGNS AND NOT THE RESPONSIBILITY OF THE CITY OF SAN ANTONIO OR BEXAR COUNTY.

MASTER TREE PLAN:

THIS SUBDIVISION IS SUBJECT TO A MASTER TREE PLAN (AP#2689489-2458337) WHICH REQUIRES COMPLIANCE BY THE OWNERS OF ALL PROPERTY WITHIN THE PLAT BOUNDARY, AND THEIR EMPLOYEES AND CONTRACTORS, AND SHALL BE BINDING ON ALL SUCCESSORS IN TITLE EXCEPT FOR OWNERS OF SINGLE-FAMILY RESIDENTIAL LOTS SUBDIVIDED HEREUNDER FOR WHICH CONSTRUCTION OF A RESIDENTIAL STRUCTURE HAS BEEN COMPLETED. THE MASTER TREE PLAN IS ON FILE AT THE CITY OF SAN ANTONIO ARBORISTS OFFICE. NO TREES OR UNDERSTORY SHALL BE REMOVED WITHOUT PRIOR APPROVAL OF THE CITY ARBORIST OFFICE PER 35-477(H).

LINE TABLE

Table with columns: LINE #, BEARING, LENGTH. Contains 47 line entries (L1-L47).

CURVE TABLE

Table with columns: CURVE #, RADIUS, DELTA, CHORD BEARING, CHORD, LENGTH. Contains 47 curve entries (C1-C47).

SAWS IMPACT FEE:

WATER AND/OR WASTEWATER IMPACT FEES WERE NOT PAID AT THE TIME OF PLATTING FOR THIS PLAT. ALL IMPACT FEES MUST BE PAID PRIOR TO WATER METER SET AND/OR WASTEWATER SERVICE CONNECTION.

SAWS WASTEWATER EDU:

THE NUMBER OF WASTEWATER EQUIVALENT DWELLING UNITS (EDU'S) PAID FOR THIS SUBDIVISION PLAT ARE KEPT ON FILE UNDER THE PLAT NUMBER AT THE SAN ANTONIO WATER SYSTEM.

SAWS DEDICATION:

THE OWNER DEDICATES THE SANITARY SEWER AND/OR WATER MAINS TO THE SAN ANTONIO WATER SYSTEM UPON COMPLETION BY THE DEVELOPER AND ACCEPTANCE BY THE SAN ANTONIO WATER SYSTEM.

SAWS HIGH PRESSURE:

A PORTION OF THE TRACT IS BELOW THE GROUND ELEVATION OF 985 FEET WHERE THE STATIC PRESSURE WILL NORMALLY EXCEED 80 PSI. AT ALL SUCH LOCATIONS, THE OWNER OR BUILDER SHALL INSTALL AT EACH LOT, ON THE CUSTOMER'S SIDE OF THE METER, AN APPROVED TYPE PRESSURE REGULATOR IN CONFORMANCE WITH THE PLUMBING CODE OF THE CITY OF SAN ANTONIO.

FIRE FLOW NOTE:

IN AN EFFORT TO MEET THE CITY OF SAN ANTONIO'S FIRE FLOW REQUIREMENTS FOR THE PROPOSED RESIDENTIAL DEVELOPMENT, THE PUBLIC WATER MAIN SYSTEM HAS BEEN DESIGNED FOR A MINIMUM FIRE FLOW DEMAND OF 1,500 GPM AT 25 PSI RESIDUAL PRESSURE. THE FIRE FLOW REQUIREMENTS FOR INDIVIDUAL STRUCTURES WILL BE REVIEWED DURING THE BUILDING PERMIT PROCESS IN ACCORDANCE WITH THE PROCEDURES SET FORTH BY THE CITY OF SAN ANTONIO DIRECTOR OF PLANNING AND DEVELOPMENT SERVICES AND THE SAN ANTONIO FIRE DEPARTMENT FIRE MARSHAL.

CLEAR VISION:

CLEAR VISION AREAS MUST BE FREE OF VISUAL OBSTRUCTIONS IN ACCORDANCE WITH THE AMERICAN ASSOCIATION OF STATE HIGHWAY AND TRANSPORTATION OFFICIALS (AASHTO) POLICY ON GEOMETRIC DESIGN OF HIGHWAYS AND STREETS, OR LATEST REVISION THEREOF.

RESIDENTIAL FINISHED FLOOR

RESIDENTIAL FINISHED FLOOR ELEVATIONS MUST BE A MINIMUM OF EIGHT (8) INCHES ABOVE FINAL ADJACENT GRADE.

DRAINAGE EASEMENT ENCROACHMENTS:

NO STRUCTURE, FENCES, WALLS OR OTHER OBSTRUCTIONS THAT IMPEDE DRAINAGE SHALL BE PLACED WITHIN THE LIMITS OF THE DRAINAGE EASEMENTS SHOWN ON THIS PLAT. NO LANDSCAPING OR OTHER TYPE OF MODIFICATIONS, WHICH ALTER THE CROSS-SECTIONS OF THE DRAINAGE EASEMENTS, AS APPROVED, SHALL BE ALLOWED WITHOUT THE APPROVAL OF THE DIRECTOR OF TCI OR DIRECTOR OF PUBLIC WORKS, THE CITY OF SAN ANTONIO AND BEXAR COUNTY SHALL HAVE THE RIGHT OF INGRESS AND EGRESS OVER THE GRANTOR'S ADJACENT PROPERTY TO REMOVE ANY IMPEDING OBSTRUCTIONS PLACED WITHIN THE LIMITS OF SAID DRAINAGE EASEMENT AND TO MAKE ANY MODIFICATIONS OR IMPROVEMENTS WITHIN SAID DRAINAGE EASEMENTS.

CLOMORS WITH FEMA APPROVAL:

THE 1% ANNUAL CHANCE (100-YEAR) FLOODPLAIN LIMITS SHOWN ON THIS PLAT WERE DELINEATED BASED UPON A CONDITIONAL LETTER OF MAP REVISION (COMR), STUDY PREPARED BY PAPE-DAWSON ENGINEERS AND APPROVED BY FEMA ON AUGUST 21, 2020 (CASE NO. 20-06-1003R). FLOODPLAIN INFORMATION IS SUBJECT TO CHANGE AS A RESULT OF FUTURE FEMA MAP REVISIONS AND/OR AMENDMENTS.

FLOODPLAIN VERIFICATION:

NO PORTION OF THE FEMA 1% ANNUAL CHANCE (100-YEAR) FLOODPLAIN EXISTS WITHIN THIS PLAT AS VERIFIED BY FEMA MAP PANEL: 48029C0195G, EFFECTIVE DATE 09/29/2010. FLOODPLAIN INFORMATION IS SUBJECT TO CHANGE AS A RESULT OF FUTURE FEMA MAP REVISIONS AND/OR AMENDMENTS.

OPEN SPACE NOTE:

LOT 900 AND 901 BLOCK 30, CB 4408, AND LOT 900, BLOCK 42, CB 4408 ARE DESIGNATED AS OPEN SPACE PERMEABLE AND AS A COMMON AREA, GAS, ELECTRIC, TELEPHONE, CABLE TV, DRAINAGE AND MAINTENANCE ACCESS EASEMENT.

STORM WATER DETENTION

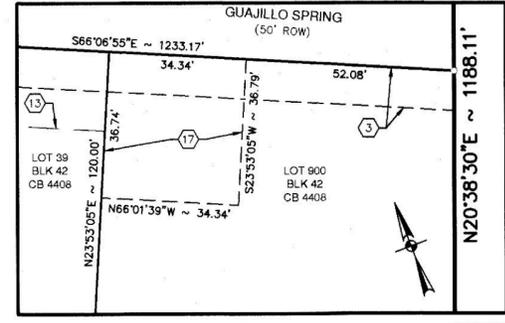
STORM WATER DETENTION IS REQUIRED FOR THIS PROPERTY AND IS ACCOUNTED FOR IN AN OFFSITE DETENTION POND LOCATED IN LOT 901, BLOCK 15, CB 4408, WESTPOINTE NORTH UNIT 1A, RECORDED IN VOLUME 20001, PAGE 2021-2026 P.R., (PLAT # 19-1180004).

COUNTY FINISHED FLOOR ELEVATION

FINISHED FLOOR ELEVATIONS FOR STRUCTURES ON LOTS 18, 19, 20, AND 21 BLOCK 30, CONTAINING FLOODPLAIN OR ADJACENT TO THE FLOODPLAIN SHALL BE IN COMPLIANCE WITH THE FLOODPLAIN REGULATION IN EFFECT AT TIME OF CONSTRUCTION. CONTACT BEXAR COUNTY PUBLIC WORKS FOR MORE INFORMATION.

RESIDENTIAL FINISHED FLOOR ELEVATION

RESIDENTIAL STRUCTURES ARE NOT ALLOWED WITHIN THE CITY OF SAN ANTONIO ULTIMATE DEVELOPMENT FLOODPLAIN. FINISHED FLOOR ELEVATIONS FOR RESIDENTIAL STRUCTURES SHALL BE NO LESS THAN ONE FOOT ABOVE THE BASE FLOOR ELEVATION OF THE REGULATORY FLOODPLAIN (CITY OF SAN ANTONIO ULTIMATE DEVELOPMENT FLOODPLAIN). THE LOWEST ADJACENT GRADE SHALL BE AT OR ABOVE THE BASE FLOOR ELEVATION. PRE-CONSTRUCTION ELEVATION CERTIFICATES MAY BE REQUIRED PRIOR TO PERMIT APPROVAL, AND POST-CONSTRUCTION ELEVATION CERTIFICATES MAY BE REQUIRED PRIOR TO OCCUPANCY OF RESIDENTIAL BUILDINGS, AS DETERMINED BY THE FLOODPLAIN ADMINISTRATOR OF THE CITY OF SAN ANTONIO.



DETAIL 'G' SCALE: 1"=30' SHEET 2 OF 3

PLAT NOTES APPLY TO EVERY PAGE OF THIS MULTIPLE PAGE PLAT

